

CITY OF COCKBURN	
DOC Set	
02 JAN 2025	
SUBJECT	109/176
RETENTION	124.2.1.15
PROPERTY	
APP	
ACTION	David King

Your ref: 109/176
Our ref: TPS/3170
Enquiries: Local Planning Schemes
Email: localplanningschemes@dplh.wa.gov.au

Chief Executive Officer
City of Cockburn
PO Box 1215
BIBRA LAKE WA 6965

Transmission via electronic mail to: stratplanning@cockburn.wa.gov.au

Dear Sir/Madam

CITY OF COCKBURN TOWN PLANNING SCHEME NO. 3 AMENDMENT NO. 176

The Western Australian Planning Commission (Commission) has considered the amendment and submitted its recommendation to the Minister in accordance with section 87(1) of the *Planning and Development Act 2005* (the Act).

The Minister has approved the amendment in accordance with section 87(2)(a) of the Act.

In accordance with section 87(3) of the Act, the Commission will cause the approved amendment to be published in the *Government Gazette*.

The Commission has forwarded notice to the Department of Premier and Cabinet (attached) and it is the local governments' responsibility to make arrangements for the payment of any publication costs. The local government is required under section 87(4B) of the Act, and regulation 64 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, to publish the approved amendment, ensure that it is available to the public, and notify each person who made a submission.

For all payment and purchase order queries, please contact the Department of Premier and Cabinet via email gazette@dpc.wa.gov.au. One signed set of the amending documents are returned for your records.

Please direct any queries about this matter to localplanningschemes@dplh.wa.gov.au

Yours sincerely

Sam Boucher

Ms Sam Boucher
Secretary
Western Australian Planning Commission

20/12/2024

Planning and Development Act 2005

APPROVED TOWN PLANNING SCHEME AMENDMENT

City of Cockburn
Town Planning Scheme No. 3 Amendment No. 176

File: TPS/3170

It is hereby notified for public information, in accordance with section 87 of the *Planning and Development Act 2005* that the Minister for Planning approved the abovementioned amendment to the City of Cockburn Town Planning Scheme No. 3 on 18 December 2024 for the purpose of:

1. Rezoning various lots within 'Development Area 16' from 'Development' to 'Residential (R40)', 'Residential (r60)', 'Residential (R80)', 'Residential (R100)', and 'Mixed Use (R80)', as depicted on the Scheme Amendment Map.
2. Reclassifying land within 'Development Area 16' from the 'Development' zone to a local reserve for 'Parks and Recreation' or 'Local Road', as depicted on the Scheme Amendment Map.
3. Reducing the extent of 'Development Area 16' Special Control Area boundary, as depicted on the Scheme Amendment Map.

L HOWLETT
MAYOR

D SIMMS
CHIEF EXECUTIVE OFFICER



Town Planning Scheme No.3
Amendment No.176
(Basic)

*Partial Rationalisation of South Beach Village Structure Plan
Development Area 16 (North Coogee)*

JUNE 2024

Planning and Development Act 2005
RESOLUTION TO AMEND A TOWN PLANNING SCHEME

City of Cockburn
Town Planning Scheme No.3
Amendment No.176

RESOLVED that the Council, in pursuance of Section 75 of the *Planning and Development Act 2005*, amend the City of Cockburn Town Planning Scheme No.3 by:

1. Rezoning various lots within 'Development Area 16' from 'Development' to 'Residential (R40)', 'Residential (R60)', 'Residential (R80)', 'Residential (R100)', and 'Mixed Use (R80)', as depicted on the Scheme Amendment Map.
2. Reclassifying land within 'Development Area 16' from the 'Development' zone to a local reserve for 'Parks and Recreation' or 'Local Road', as depicted on the Scheme Amendment Map.
3. Reducing the extent of 'Development Area 16' special control area boundary, as depicted on the Scheme Amendment Map.

The Amendment is 'basic' under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reason(s):

- *It is an amendment to the local planning scheme that involves zoning land consistent with an approved structure plan and/or local development plans for the same land; and/or is*
- *Proposing zoning/reservation changes that are purely administrative in nature.*

Pursuant to Regulation 35A of the *Planning and Development (Local Planning Schemes) Regulations 2015*, the amendment to the above Local Planning Scheme affects the following structure plan:

Structure Plan #	Address	Latest WAPC Endorsement	WAPC Reference
16A	Lot 113 Rollinson Road, Lots 114-118 O'Connor Close, North Coogee	16 February 2017	SPN/0821M-1

Upon the amendment taking effect 'partial' revocation of the above approved structure plan is to occur.

Dated this day of JUNE 2024


CHIEF EXECUTIVE OFFICER

AMENDMENT REPORT

1.0 INTRODUCTION

Structure Plan No.16A (South Beach Village) has largely been implemented.

The purpose of this 'basic' scheme amendment is to transfer most of the zones and reserves shown for this structure plan area into Town Planning Scheme No.3 (TPS3), to ensure the City maintains appropriate development control, ahead of the structure plan expiring on 19 October 2025.

This process is referred to as rationalisation of a structure plan.

2.0 BACKGROUND:

Development Area 16 (DA16) was created in December 2002, upon gazettal of Town Planning Scheme No.3 (red dashed outline in **Figure 1**).

In essence, it is the result of Amendment No.201 to former District Zoning Scheme No.2, which in response to the 2001 gazettal of Metropolitan Region Scheme (MRS) Amendment 1008/33, transferred land from 'Industrial' and 'Railways' Reservation to the 'Urban' zone and 'Regional Parks and Recreation' reservation.

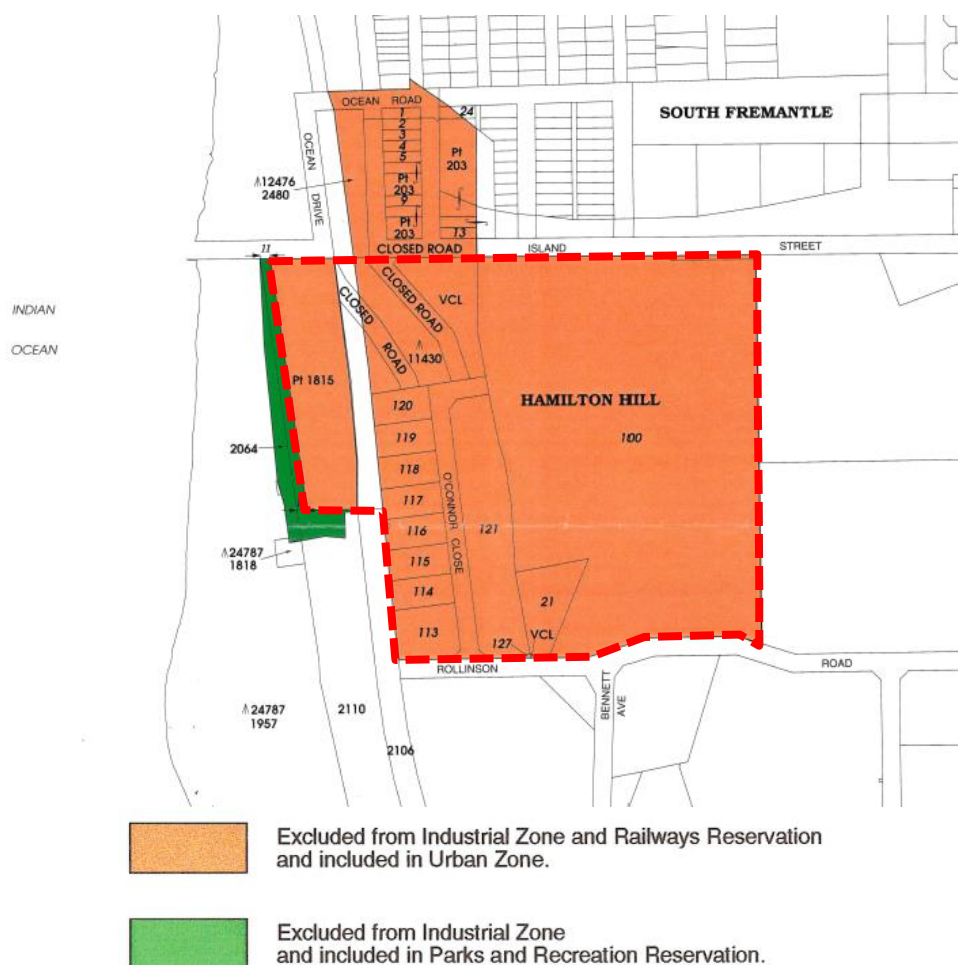


Figure 1 – Detail Plan for MRS Amendment No. 1008/33

Previously the substantive portion of a general industrial and railyard area that extended northward into the City of Fremantle, the land was significantly remediated to comply with environmental conditions imposed by the Minister for Environment to facilitate its redevelopment for urban purposes.

The adopted vision for the area was to deliver a vibrant urban village comprising diverse environmentally, socially, and economically sustainable high-quality medium to high density housing and commercial spaces with convenient access to public open space and surrounding areas.

The resulting built form has been heavily influenced by the preparation and administration of comprehensive design guidelines for the estate and associated Local Development Plans for specific areas.

These guided the emergence of well-designed, considerate housing to assist in achieving the City's infill density targets whilst ensuring development outcomes fostered a sense of community without compromising on privacy and lifestyle.

DA16 currently includes one endorsed structure plan as per the table below.

Structure Plan #	Address	Latest Approval (& Expiration Date)	Proposed Action
16A	Lot 113 Rollinson Road, Lots 114-118 O'Connor Close, North Coogee	WAPC: 16/02/2017 (Expires 19/10/2025)	Basic & Standard Amendments

The extent of DA16 (thick black dashed line), the structure plan (red solid line) and scheme amendment boundary (yellow dashed line), are depicted on **Figures 2 and 3**. The additional area outlined in yellow (in between Breaksea Drive and Rollinson Road in the southeast corner) forms the subject of a separate complimentary 'standard' Scheme Amendment (#177) that will be advertised for public comment.

Lots outlined in blue are yet to develop or redevelop in accordance with the approved Structure Plan. Of importance, they incorporate important public reserves yet to be constructed and ceded into public ownership. As a result, they have been excluded from both scheme amendments, will retain their existing 'Development' zoning, and a Structure Plan extension for that area was lodged with the WAPC in January 2024.

The structure plan area includes various Local Development Plans (LDPs). This amendment has no effect on the operation of those instruments which will remain in effect until they expire on (or after) 19 October 2025.

Consistent with the proposed Structure Plan outcome, the City will need to consider the benefits (or otherwise) of extending the approval of the existing LDP for the undeveloped landholdings.

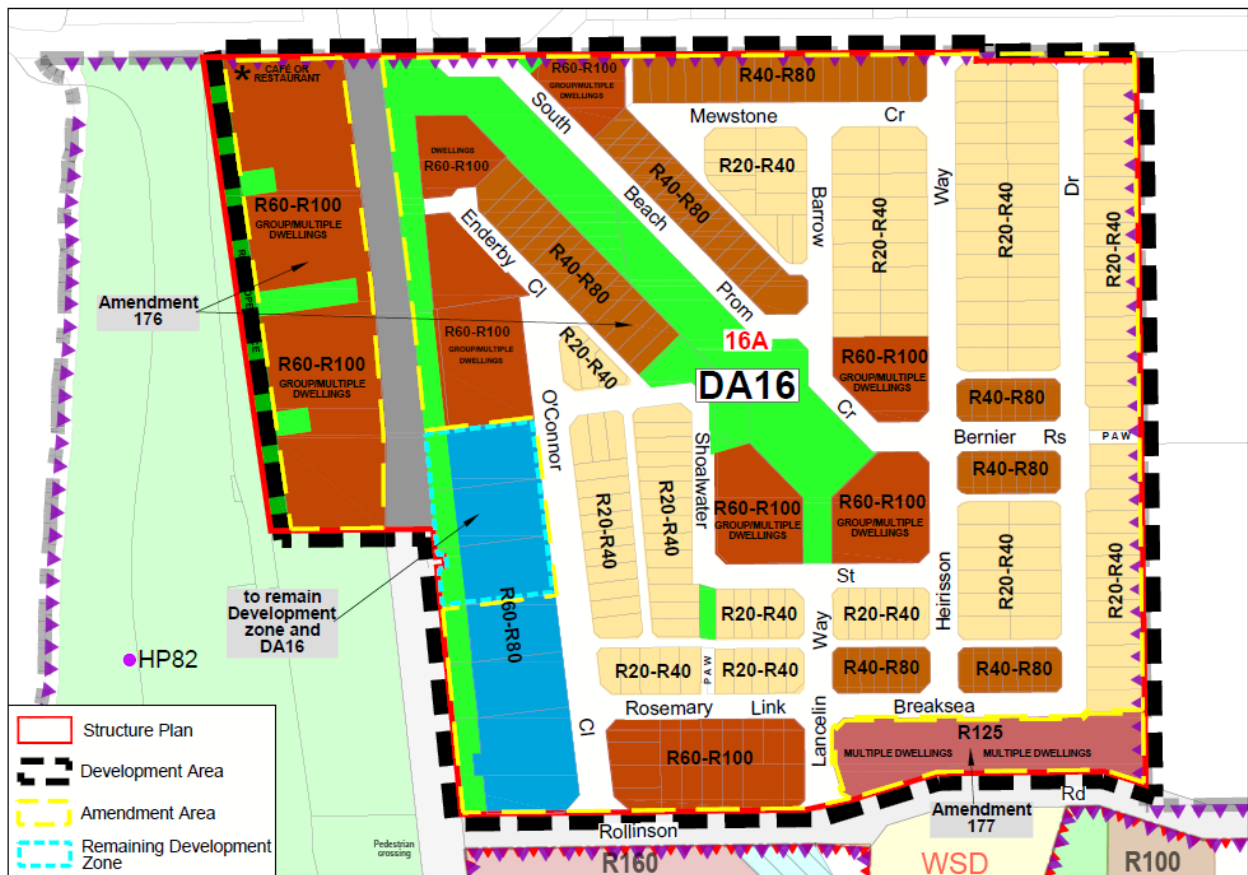


Figure 2 – DA16, Structure Plan 16A and Scheme Amendment #176 & #177 Extents

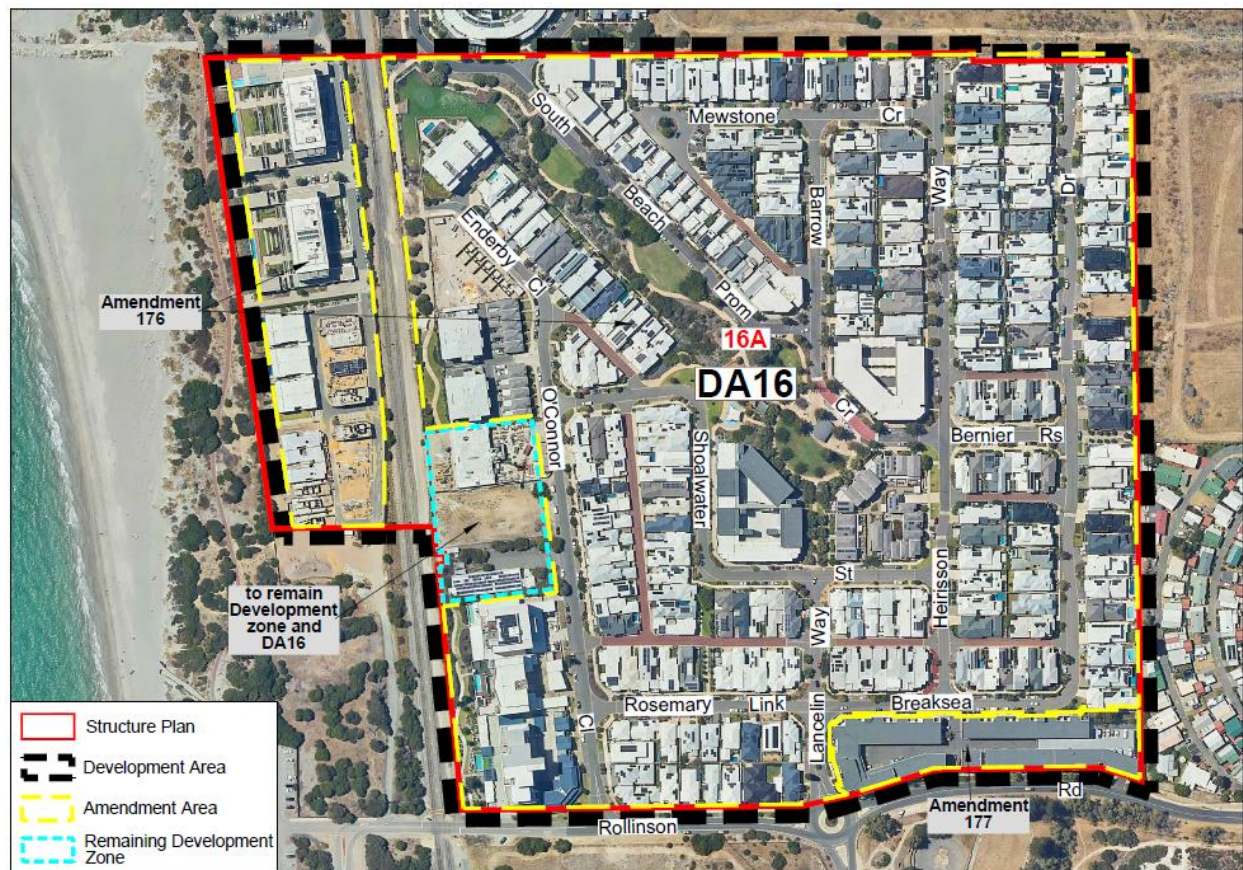


Figure 3 – Aerial Photograph showing extent of completed Subdivision and Development

3.0 AMENDMENT TYPE

Part 5, Division 1, Regulation 34 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, identifies different amendment types: basic, standard and complex.

Regulation 35(2) requires the local government to specify in their resolutions to prepare or adopt an amendment what type of amendment it is, as well as the explanation for forming that opinion.

This proposed amendment is considered a basic amendment, which Regulation 34 describes as any of the following:

- a) an amendment to correct an administrative error;*
- b) an amendment to the scheme so that it is consistent with the model provisions in Schedule 1 or with another provision of the local planning scheme;*
- c) an amendment to the scheme text to delete provisions that have been superseded by the deemed provisions in Schedule 2;*
- d) an amendment to the scheme so that it is consistent with any other Act that applies to the scheme or the scheme area;*
- e) an amendment to the scheme so that it is consistent with a State planning policy;*
- f) an amendment to the scheme map to include a boundary to show the land covered by an improvement scheme or a planning control area;*
- g) an amendment to the scheme map that is consistent with a structure plan, activity centre plan or local development plan that has been approved under the scheme for the land to which the amendment relates if the scheme currently includes zones of all the types that are outlined in the plan;*
- h) an amendment that results from a consolidation of the scheme in accordance with section 92(1) of the Act;*
- i) an amendment to the scheme so that it is consistent with a region planning scheme that applies to the scheme area if the amendment will have minimal effect on the scheme or landowners in the scheme area.*

This proposed amendment satisfies parts (a) and (g) of the above criteria.

Specifically, it is an amendment to the local planning scheme map that involves zoning land consistent with an approved structure plan for the same land and/or zoning land consistent with their established use and existing tenure.

4.0 TOWN PLANNING CONTEXT

4.1 State Planning Framework

The entirety of DA16 is identified in the *South Metropolitan Peel Sub-Regional Planning Framework* and zoned 'Urban' under the Metropolitan Region Scheme.

4.2 City of Cockburn Local Planning Framework

Under TPS3, the area is zoned 'Development' and identified on the Scheme Map and in Table 9 of the Scheme Text as Development Area 16 (DA16).

The purpose of the 'Development' zone is to trigger the requirement for a Structure Plan to guide further subdivision and/or development.

Table 9 allows specific 'provisions' to then be applied to defined Development Areas to inform the subsequent structure planning and subdivision processes. For DA16 it includes the following:

TABLE 9 – DEVELOPMENT AREAS		
REF. NO.	AREA	PROVISIONS
DA 16	South Beach (Development Zone)	<ol style="list-style-type: none">1. An approved Structure Plan together with all approved amendments shall be given due regard in the assessment of applications for subdivision, land use and development in accordance with clause 27(1) of the Deemed Provisions.2. To provide for uses consistent with the zonings and reservations in the MRS.3. All residential development must be designed and constructed to comply with the South Beach Village Noise Management Plan dated August 2002.

5.0 PROPOSAL

Subdivision and development of almost all the land within DA16 is now complete, meaning that the structure plan has largely served its purpose.

This amendment therefore seeks to remove these areas from DA16 and transfer the structure plan identified zones and reservations for the land into the Scheme, ahead of the structure plans expiry date of 19 October 2025.

Development Area 16:

As there remains portions of DA16 yet to be redeveloped, in particular Lots 116-118 O'Connor Close, complete deletion of DA16 and its special provisions are not proposed at this time, rather just a reduction to the extent of the DA16 special control area boundary to reflect the outcome of this proposal. A further reduction will occur as part of Scheme Amendment #177.

Local Structure Plan (LSP):

Details on Structure Plan 16A, including commentary on important exclusions and inclusions, is provided in this section to demonstrate our reasoning for rationalisation in the manner proposed.

**Lot 113 Rollinson Road, Lots 114-118 O'Connor Close, North Coogee
– South Beach Village Estate (16A)**

Lying along the southern boundary of South Fremantle, west of the Fremantle Village Holiday Park, north of Rollinson Road and east of the CY O'Connor Foreshore Reserve, this Structure Plan identifies a comprehensive network of local roads servicing low-to-medium (R20-R80) density single residential houses and medium-to-high (R60-R125) density townhouses and apartments, principally clustered around a central spine of public open space (POS) that leads back to district level recreational facilities at South Beach.

Density ranges were adopted for most street blocks, with the final coding (and specific Design Guidelines and R-Code development standard variations) deferred to Local Development Plans (prepared in response to conditions of Subdivision Approval) or subsequent Development Approval.

The higher codings are generally located in high-amenity locations, such as directly adjacent or opposite the ocean foreshore, the primary (central) or secondary (freight rail adjacent) linear POS corridors, or along Rollinson Road (which provides a direct connection to the CY O'Connor Foreshore reserve).

A Mixed Use precinct (reduced in size and rezoned from Mixed Business via a series of LSP Amendments over the Estate's lifetime), is located in the southwest corner along the eastern edge of the operating freight rail line.

Other than where discussed in the following sections, all land is proposed to be rezoned and/or reclassified from the 'Development' zone to the correlating zones and reserves identified on the Structure Plan map shown in **Appendix A**.

Proposed density codings reflect:

- those applied to substantive development, approved and subsequently implemented using the higher density coding identified on the Structure Plan for the sites included at **Appendix B**;
- the specific codings identified on the approved Local Development Plans included at **Appendix C**; or
- those applied to substantive development, approved and subsequently implemented using the higher density coding identified on the Local Development Plan included at **Appendix D**.


Exclusions:

Three of the Mixed Use lots [Lots 116 (#15), 117 (#19) and 118 (#23) O'Connor Close] are yet to fully redevelop and subdivide in accordance with the current Structure Plan outcome, the former because it contains an operating light industrial use with ongoing non-confirming use rights.

These lots cannot be rationalised at this time as they incorporate critical mid-route portions of the secondary linear park running along the eastern edge of the freight


rail line, that form an important pedestrian/cyclist connection between Rollinson Road, Enderby Close and South Beach further north. Even though development of #23 is well progressed, reserving the relevant portions as POS now could injuriously affect the land and give rise to a landowner claim for compensation.

Instead, these lots have been excluded from both scheme amendments, will retain their existing 'Development' zoning and a Structure Plan extension for that area has been submitted to the WAPC (refer to maps and table below for exact location).

Location	Proposed Action	Map
Lots 116 (#15), 117 (#19) & 118 (#23) O'Connor Close, North Coogee	Excluded from Scheme Rezoning – Structure Plan extension approved by WAPC on 6 May 2024	



The only other exclusion involves the 'Move' Apartment Complex (#59 Breaksea Drive) as the Structure Plan identifies an 'R125' density code which doesn't appear in the current version of the Residential Design Codes.

As an alternative coding needs to be proposed, rationalisation of that area will occur via a separate 'standard' scheme amendment (Amendment #177) that will be advertised for public comment (refer to maps and table below for exact location).

Location	Proposed Action	Map
'Move' Apartment Complex #59 Breaksea Drive, North Coogee	Included in Amendment #177 – to allow Public Advertisement of different R-Code	

Minor Adjustments:

Typical of any rationalisation amendment, included are minor adjustments required to match the final boundaries and tenure of land as determined via subsequent subdivision processes. A couple of more notable changes, necessary to match the outcome of WAPC subdivision decisions, are documented in the following table:

Location	Current Use / Tenure	Proposed Local Reservation	Map
Portion of Keeling Way	Road Reserve (Local Road)	'Local Road'	
'The Islands' Development Complex #21-25 Ocean Drive, North Coogee (Strata Plan 52597)	Privately Owned Communal Open Space (Public Access/Use secured via Easements on Title)	'Residential R60' (Consistent with balance land holding)	

Despite being shown on the relevant Local Development Plans as POS and developed for public use, the City has been advised that reserving or otherwise restricting the relevant portions of 'The Islands' Development Complex to a public use in TPS3, could constitute injurious affection and give rise to a landowner claim for compensation. Notwithstanding the proposed Residential zoning (consistent with the balance of the broader title), public use is maintained via the easement on the Title (refer **Appendix E**).

6.0 CONCLUSION

For the following key reasons, it is suggested that now is an appropriate time for Structure Plan 16A to be partially revoked and most of its zones and reserves to be rationalised into the Scheme:

- all the affected public reserves (including local roads, drainage, public open space and public purpose) have been suitably constructed/embellished and transferred into public or utility provider ownership;
- all the affected zoned land on the endorsed structure plan has been substantially subdivided and/or developed for private commercial and/or residential purposes; and
- where further development is currently underway or is still to occur on private landholdings within the affected area, the proposed zoning is consistent with the designation that would have applied under the applicable structure plan and relevant local development plan.

Recognising these zones and reserves within TPS3 will:

- avoid the future need to seek WAPC approval to extend the approval period of the existing structure plans; and
- remove a redundant layer of planning control; whilst still
- ensure the City maintains appropriate mechanisms to guide and control future redevelopment of the land (including the same range of permissible land uses and associated development standards as currently apply), consistent with current community expectations.

The other changes proposed reflect good contemporary planning practice and do not pose a significant adverse impact on surrounding development.

Planning and Development Act 2005

City of Cockburn Town Planning Scheme No.3 Amendment No.176

RESOLVED that the Council, in pursuance of Section 75 of the Planning and Development Act 2005, amend the City of Cockburn Town Planning Scheme No.3 by:

1. Rezoning various lots within 'Development Area 16' from 'Development' to 'Residential (R40)', 'Residential (R60)', 'Residential (R80)', 'Residential (R100)', and 'Mixed Use (R80)', as depicted on the Scheme Amendment Map.
2. Reclassifying land within 'Development Area 16' from the 'Development' zone to a local reserve for 'Parks and Recreation' or 'Local Road', as depicted on the Scheme Amendment Map.
3. Reducing the extent of 'Development Area 16' Special Control Area boundary, as depicted on the Scheme Amendment Map.

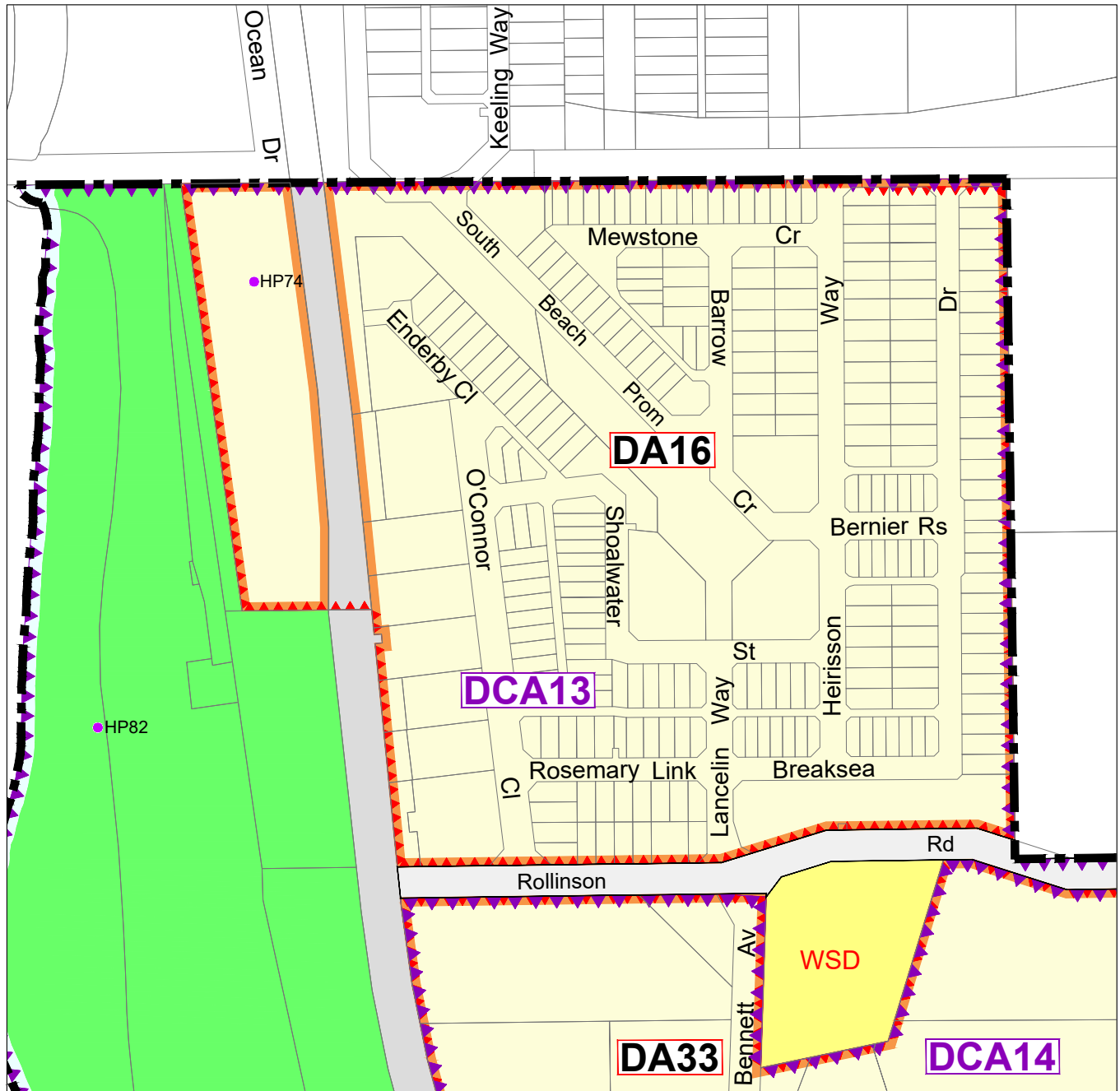
The Amendment is 'basic' under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reason(s):

- *It is an amendment to the local planning scheme that involves zoning land consistent with an approved structure plan and/or local development plans for the same land; and/or is*
- *Proposing zoning/reservation changes that are purely administrative in nature.*

Pursuant to Regulation 35A of the *Planning and Development (Local Planning Schemes) Regulations 2015*, the amendment to the above Local Planning Scheme affects the following structure plan:

Structure Plan #	Address	Latest WAPC Endorsement	WAPC Reference
16A	Lot 113 Rollinson Road, Lots 114-118 O'Connor Close, North Coogee	16 February 2017	SPN/0821M-1

Upon the amendment taking effect 'partial' revocation of the above approved structure plan is to occur.



Current Scheme Map

GENERAL

Scheme Boundary

● HP1 Heritage Place

SPECIAL CONTROL AREAS:

DA1 Development Areas

DCA1 Development Contribution Areas

REGION RESERVES

Parks & Recreation

Railways

Waterways

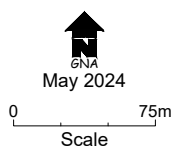
WSD Public Purposes
- Water Authority of WA

LOCAL RESERVES

Local Road

ZONES

Development



Amendment No.176 Town Planning Scheme No.3



Scheme Amendment Map

GENERAL

R20 Residential Density Codes

SPECIAL CONTROL AREAS:

DA1 Development Areas

REGION RESERVES

LOCAL RESERVES

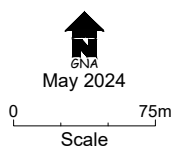
Parks and Recreation

Local Road

ZONES

Residential

Mixed Use



Amendment No.176 Town Planning Scheme No.3

This Basic Amendment was adopted and is recommended for approval by resolution of the City of Cockburn at the Ordinary Meeting of the Council held on the 11th day of JUNE 2024, and the Common Seal of the City of Cockburn was hereunto affixed by the authority of a resolution of the Council in the presence of:



(Seal)

A handwritten signature in blue ink, appearing to read "Logan Hewitt", written over a horizontal line.

MAYOR

A handwritten signature in blue ink, written over a horizontal line.

CHIEF EXECUTIVE OFFICER

WAPC ENDORSEMENT (r.63)

A handwritten signature in dark ink, written over a horizontal line.

DELEGATED UNDER S.16 OF
THE P&D ACT 2005

DATE 11 NOVEMBER 2024

APPROVAL GRANTED

It is hereby certified that this is a true copy of the ~~Scheme~~/Amendment, final approval to which was endorsed by the Minister for Planning on 18/12/2024

Certified by ABrookes

Officer of the Commission Duty authorised pursuant to Section 24 of the Planning and Development Act 2005 and Regulation 32(3) Scheme and Regulation 63(3) (Amendment) of the Planning and Development (Local Planning Scheme) Regulations 2015.

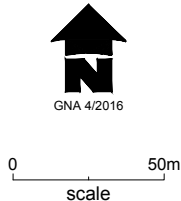
MINISTER FOR PLANNING

DATE _____

APPENDIX A

Current Approved Structure Plan





- Structure Plan Boundary
- Residential R20-R40
- Residential R40-R80
- Residential R60-R100 Group/Multiple Dwelling Site
- Residential R125 Multiple Dwelling (subject to DAP)
- Public Open Space
- Region Open Space
- Mixed Use R60-R80
- Railways
- * Proposed Location For Café or Restaurant
- Structure Plan Amendment Area

STRUCTURE PLAN

SOUTH BEACH VILLAGE

APPENDIX B

Approved Developments (based on Highest Structure Plan Density Code)



**CITY OF COCKBURN
DEVELOPMENT APPLICATION
Subject to any amendments shown in red
and compliance with conditions of approval**

APPROVED

14 Apr 2020
File Ref: DA20/0117
Plan 6 of 13

ELEVATIONS



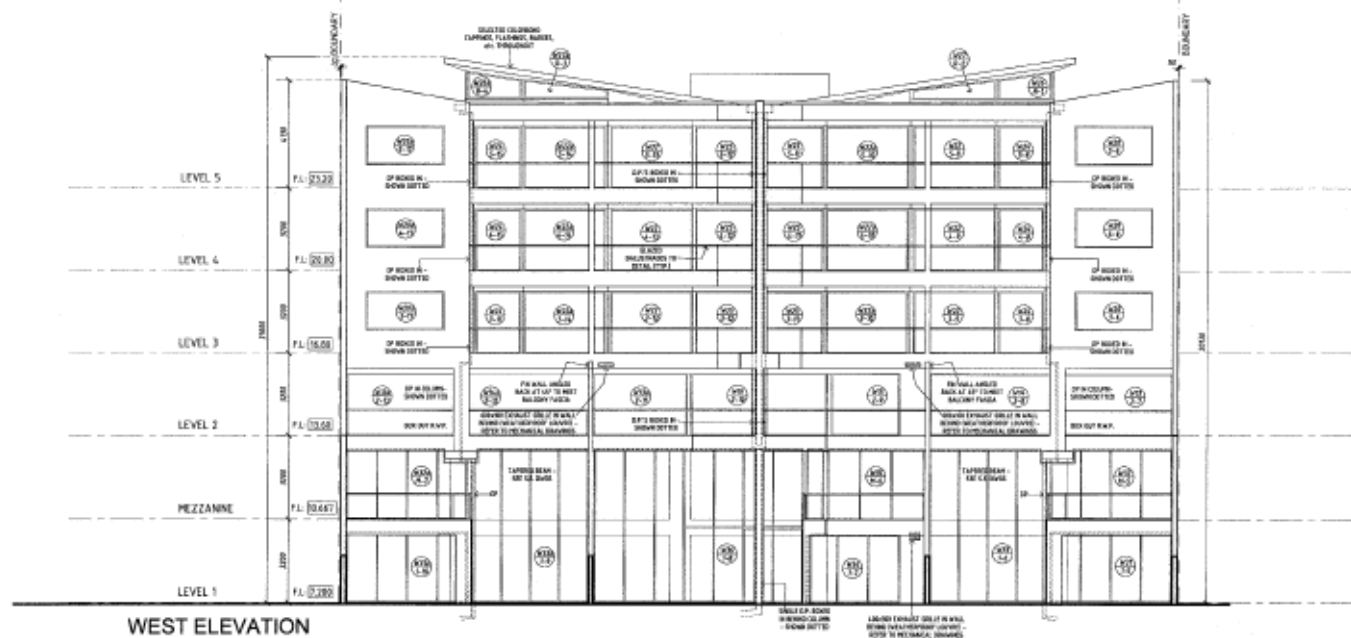
ELEVATION 1



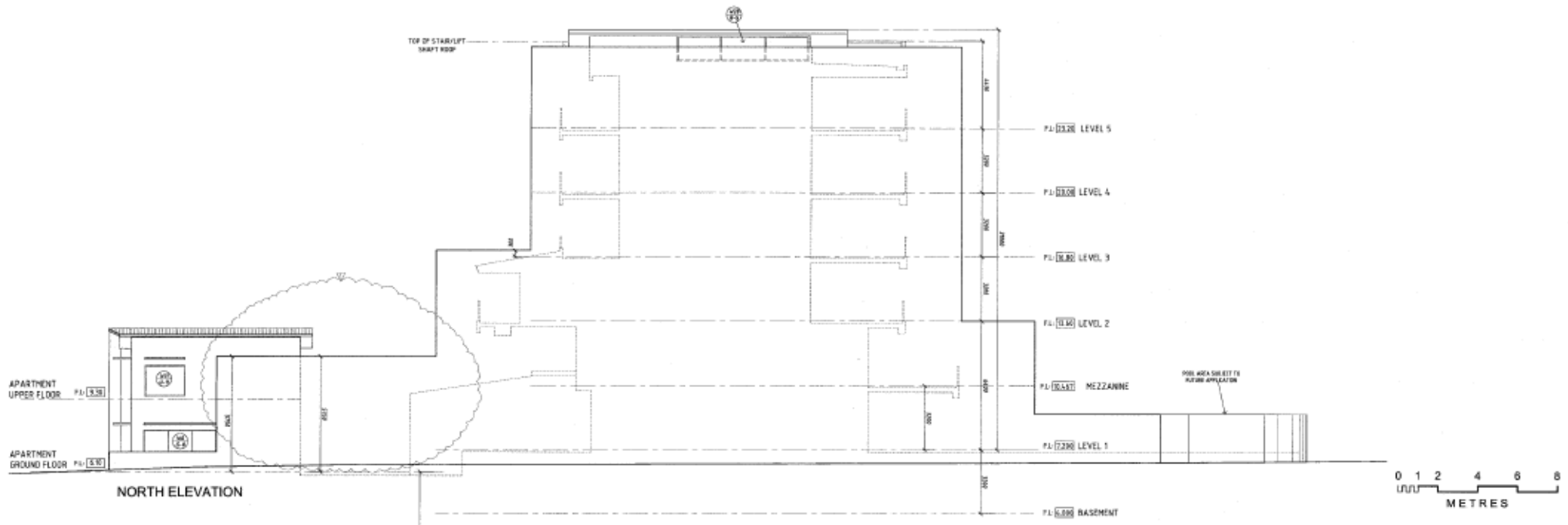
ELEVATION 2

EXTERNAL FINISHES KEY

FB	01	<p>Facbrick work - white mortar struck joints</p> <ul style="list-style-type: none"> - Austrel Bricks GB Split Face range - Porcelain 190x110x30mm
FB	02	<p>Facbrick work - light grey mortar struck joints</p> <ul style="list-style-type: none"> - Austrel Bricks GB Smooth 76 range - "Emmental" Silver 230x110x60mm
FB	03	<p>Facbrick work - white mortar struck joints</p> <ul style="list-style-type: none"> - Austrel Bricks Indulgencia range - French Blue 290x90x75mm
LS	01	<p>Facbrick work - light grey mortar struck joints</p> <ul style="list-style-type: none"> - Austrel Bricks GB Hound range - "Limestone 190x90x30mm"
CL.W	01	<p>Wall cladding - Ultragrip Equitone [rectified]</p> <ul style="list-style-type: none"> - "TE 80"
N.W	01	<p>Nalipart wall cladding</p> <ul style="list-style-type: none"> - "Shale Grey"
T	01	<p>Porcelain wall tile</p> <ul style="list-style-type: none"> - Gloss white
CO	01	<p>Sealed concrete - off form</p> <ul style="list-style-type: none"> - Natural Grey
A.W	01	<p>Anodised glazing units</p> <ul style="list-style-type: none"> - Colour 'Black'
PS	01	<p>Painted steel</p> <ul style="list-style-type: none"> - Gloss 'Black'
PS	02	<p>Painted steel</p> <ul style="list-style-type: none"> - Gloss 'White'
CB	01	<p>Colourbond Roof / eaves gutters / fascias / rainwater down pipes / cappings</p> <ul style="list-style-type: none"> - Shale Grey
N.R	01	<p>Nalipart Roof Sheeting</p> <ul style="list-style-type: none"> - "Shale Grey"



WEST ELEVATION



NORTH ELEVATION

hanlin
architects
pty ltd
reg. No. 1034

ABN 1636 524 1273
2/51 Mount Street
Perth WA 6000
Tel: (08) 9408 5437
Mob: 04 111 50265
Fax: (08) 9408 0808
Email: hnanlin@hanlinarchitects.com.au

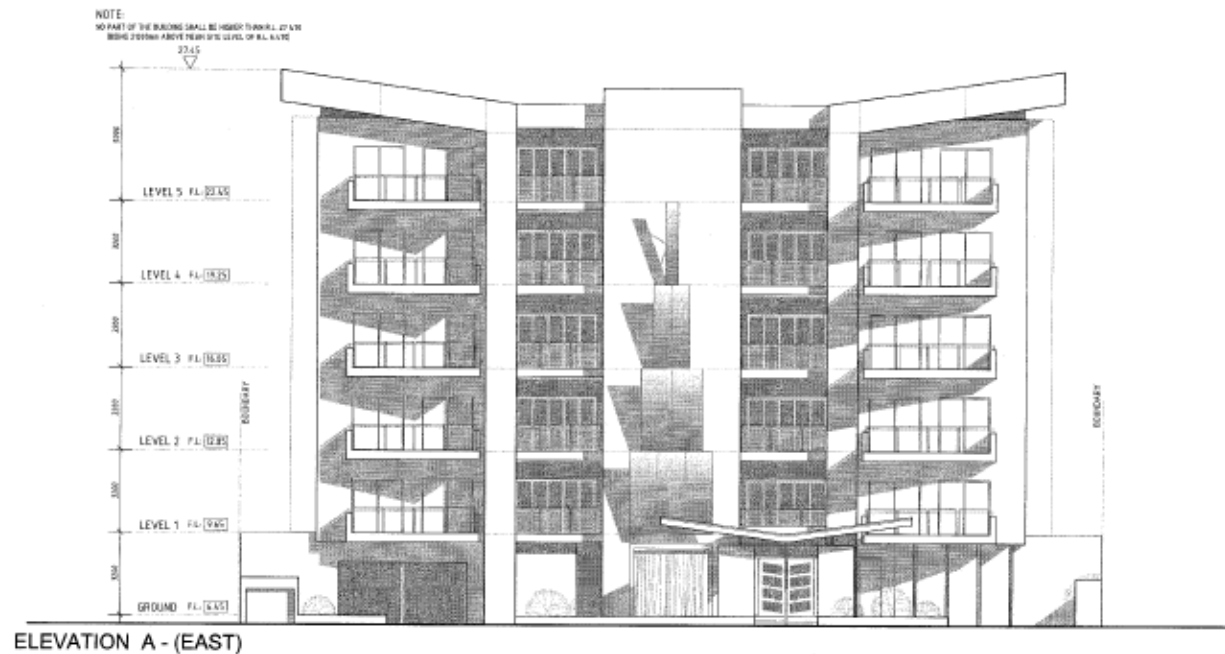
project **DEVELOPMENT ON LOT 114
O'CONNOR CLOSE, HAMILTON HILL**
dwg. title **APARTMENT BUILDING/TOWNHOUSE - ELEVATIONS**

ISSUED FOR CONSTRUCTION

drawn SM date 12/10/06
checked RH scale 1:100
dwg no **A.12-1**

DEVX
Developing Excellence
Unit 3 - 8 DAY ROAD
ROCKINGHAM WA 6180
Tel (08) 9591 4800

rev
1 (N/5/07) AMENDED PARKET WALL ON NORTH ELEVATION DUE TO EXTENDED LEVEL 1



hanlin
architects
pty ltd
reg. No. 10234

ABN 1636 624 1273
2703 Park Avenue
Crawley WA 6009
Tel: (08) 9398 8074
Mob: 0411110096
Fax: (08) 9398 0573
Email: hlin@hanlinarchitects.com.au

project **DEVELOPMENT ON LOT 115
O'CONNOR CLOSE, HAMILTON HILL**
dwg. title **APARTMENT BUILDING - ELEVATIONS**

ISSUE FOR DEVELOPMENT APPROVAL

drawn: SMDW date: 05/03/08

check: RH scale: 1:100

dwg no: **Sk.4**

DEVX
Building Excellence
Unit 3 - 6 DAY ROAD
ROCKHAMPTON WA 6008
Tel: (08) 9591 4800





APARTMENT
FRONT ELEVATION
1:100

**CITY OF COCKBURN
DEVELOPMENT APPLICATION**
Subject to any amendments shown in red
and compliance with conditions of approval

APPROVED
24 Apr 2019
File Ref: DA18/0999
Plan 14 of 20



DANMAR
DEVELOPMENTS

Level 1/475 Scarborough Beach Rd, Osborne Park WA 6017
P: (08) 9445 7522 F: (08) 9445 8211
WEB: www.danmardevelopments.com

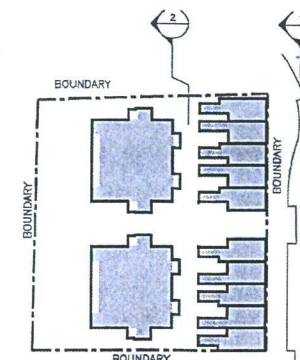
ALL DIMENSION TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF ANY WORK. FIGURED DIMENSIONS ONLY TO BE USED. REPORT AND DISCREPANCIES BEFORE PROCEEDING WITH THE WORK
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CLIENT	GMPM
CONSULTANT	GRAHAM SWEETMAN
REV. NO. DATE	13 01-Mar-19
DRAWN BY	GD

23 O'Connor Close, North Coogee

1:100 @ A2

27 NOV 2013



KEY PLAN
NTS

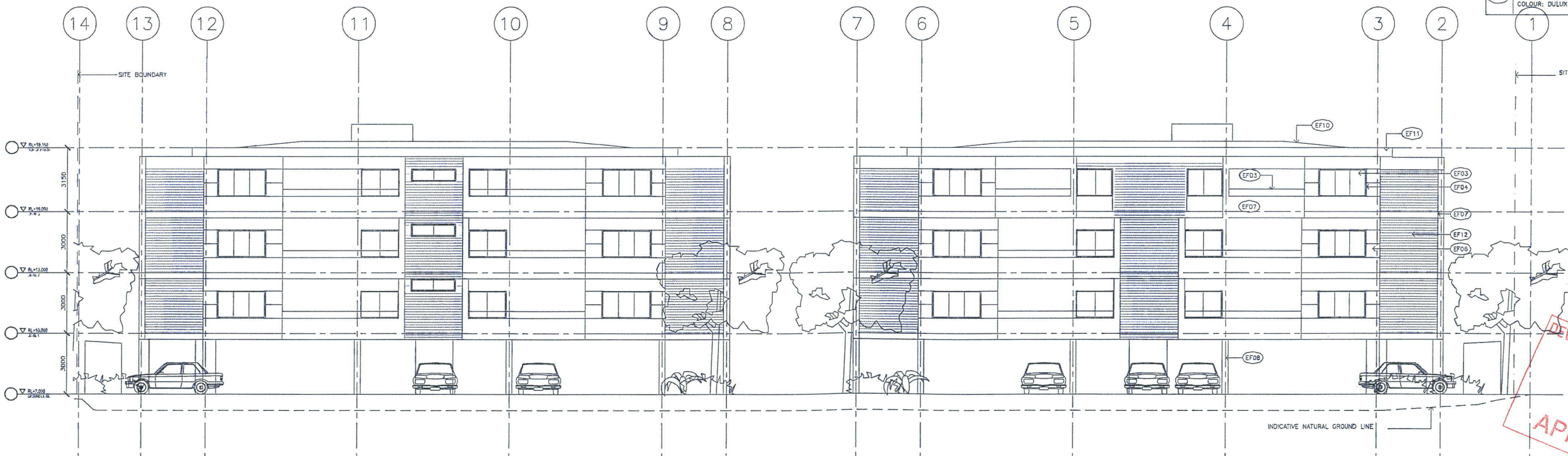
CODE	DESCRIPTION
EF01	BEACH HOUSE COLORBOND ROOF SHEETING. COLOUR: WOODLAND GREY
EF02	COLORBOND FASCIA TO BEACH HOUSES. COLOUR: WOODLAND GREY
EF03	GLAZING
EF04	ALUMINUM WINDOW FRAMES. COLOUR: METALLIC SILVER
EF05	HARDY PLANK LIGHTWEIGHT CLADDING COLOUR: DULUX SAUDI SAND
EF06	RENDERED AND PAINTED MASONRY WALL. COLOUR: DULUX SLIP CAST
EF07	RENDERED AND PAINTED MASONRY WALL. COLOUR: DULUX VIVID WHITE
EF08	RENDERED AND PAINTED CONCRETE. COLOUR: DULUX RAKU
EF09	RENDERED FC SHEETING. COLOUR: DULUX SLIP CAST
EF10	APARTMENT COLORBOND ROOF SHEETING COLOUR: SURFMIST
EF11	COLORBOND FASCIA TO APARTMENTS COLOUR: SURFMIST
EF12	FEATURE PAINTED AND RENDERED MASONRY WALL. COLOUR: DULUX RAKU
EF13	ALUMINUM BATTEN SCREENING. SILVER METALLIC FINISH TO 1.6M ABOVE FFL
EF14	HARDY PLANK LIGHTWEIGHT CLADDING COLOUR: DULUX RAKU



01 EAST ELEVATION
O'CONNOR STREET
1:100



02 EAST ELEVATION
APARTMENTS
1:100



DEVELOPMENT ASSESSMENT
PANELS
12 DEC 2013
APPROVED



DEVELOPMENT APPLICATION
ONLY NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
P1	WORK IN PROGRESS DO	09 08 13				
P2	DRAFT DA	23 08 13				
P3	SCALE AMENDED	27 08 13				
P4	ISSUED TO ILLUSTRATOR ARTIST	28 08 13				
P5	DA ISSUE	12 09 13				
P6	DA ISSUE	13 09 13				
P7	DA ISSUE	25 09 13				
P8	REVISED DA ISSUE	10 10 13				
P9	REVISED DA ISSUE	25 11 13				



Project
LOT 119 & 120 ON P22417
O'CONNOR CLOSE, NORTH COOGEE
6163 WESTERN AUSTRALIA
'ELEMENTS SOUTH BEACH'

Title
EAST ELEVATION

Drawing No. A-0500	Issue P8
Scale 1:100	Drawing Size A1
Project 1346	Date AUG 2013
	Drawn By GR

Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the property of WMK Architecture Pty Ltd. a.s.

CAD Reference



CITY OF GOSFORD
DEVELOPMENT APPLICATION
APPROVED
SUBJECT TO ANY AMENDMENTS SHOWN IN RED AND
COMPLIANCE WITH THE CONDITIONS OF APPROVAL

16 FEB 2005
Planning Officer *M. Dain*
FILE REF. 2213442
PLAN 2 OF 13

[REVISED PLAN]

EAST ELEVATION scale 1:200

GILETE OCEAN VIEW ON LOT 113 O'CONNOR CLOSE - HAMILTON HILL

GILETE GROUP

141 BURSWOOD ROAD BURSWOOD PERTH TEL. 95928824

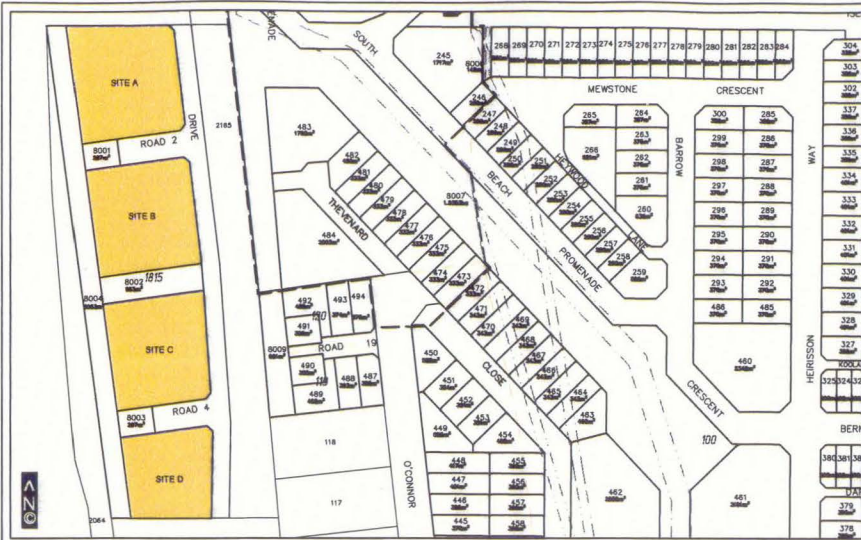
DATE - 7/10/04

RECEIVED
28 JAN 2005

APPENDIX C

Approved Local Development Plans (with Specific R-Code Densities)





SITE A, B, C & D

SCALE 1:3000

SETBACKS

- | | |
|---|--------------------------------|
| ① Nil setback for podium and two storeys. | ⑤ Nil setback permitted. |
| ② Nil setback for podium and two storeys for a maximum of 50% of the length of boundary. The remaining portion is to be set back a minimum of 7.0m. | ⑥ 3.0m setback for all levels. |
| ③ 3.2m setback required for upper levels above podium and two storeys. | |
| ④ Setback above podium and two storeys to be a minimum of 7.0m. | |

BUILDING HEIGHT

- Maximum building height is 21.0m from NGL (7.50 AHD based on pre-remediation levels) to uppermost portion of roof (including lift motor rooms/plant).
- Podium level up to 1.6m from NGL is permitted.
- Minimum floor to floor height is 3.0m.

CAR PARKING & ACCESS

- Access to basements is to be from internal roads between buildings.
- All residential tenant car parking is to be contained in basements within or below each building envelope.
- Visitor Parking is to be provided in accordance with the R-Codes.
- Parking for commercial uses is to be provided in accordance with the City of Cockburn's Town Planning Scheme.
- All servicing of the development is to occur within the site (Lot 1815).
- A clear delineation between pedestrian and vehicle movement is to be provided.

OPEN SPACE

- Minimum 60% open space is required and is calculated across entire site (Lot 1815) including easements and access ways, but not regional public open space reserves.
- Outdoor living areas above natural ground level can be included in open space calculations.

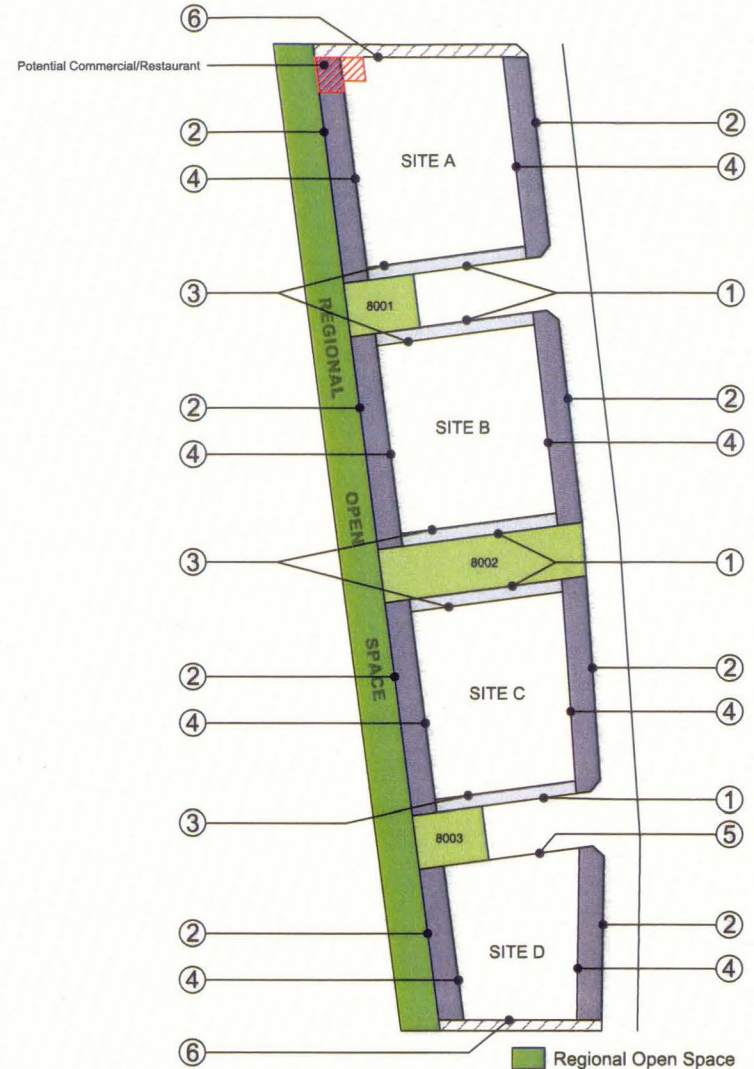
OTHER

- Applicable Residential Density Code is R80. The density and plot ratio of the development shall be calculated across the entirety of Lot 1815.
- A variety of residential dwelling types and sizes such as beach houses, 2 and 3 bedroom apartments are to be provided.
- Development above podiums is to address all frontages including internal streets and reserves/public accessways in a positive manner reflective of the nature of the adjoining space.
- Balconies should be generously dimensioned (>2.5m) and designed to provide protection to the dwelling from excess solar gain.
- The north western corner of Site A may be for commercial uses (i.e. restaurant, shop or café). Dwellings may be also used for home occupations subject to City of Cockburn approval.
- Materials used in construction shall be reflective of a coastal vernacular theme, durable and suitable for their coastal environment.
- Easements shall be landscaped in a manner that is integrated with the landscaping of public open space reserves.
- Northern solar access and cross ventilation opportunities shall be maximised.
- Roof mounted solar cells, solar hot water units and mechanical plant equipment are not to be visible from the street or public places abutting the site.
- Clear demarcation of private space shall be provided to prevent unnoticed access to the property.
- The utilisation of quiet house design principles, the construction of noise barriers and the location of buildings to maximise amelioration of noise from the railway reserve shall occur. The requirements of the MRS Amendment No. 1008/33 shall be satisfied.
- POS areas are to be a minimum of 13.0m in width.
- The Commercial/Restaurant component of the development shall be a minimum floorspace of 240sqm.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner.

Setbacks



Lot plan and dimensions are indicative only.

Regional Open Space
Public Open Space/or Pedestrian Access Way

Title: DETAIL AREA PLAN - LOT 1815
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 9 MAY 2007 Revision No: A

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: SL

E Reference: 704.226 DA14A type lot 1815.dwg

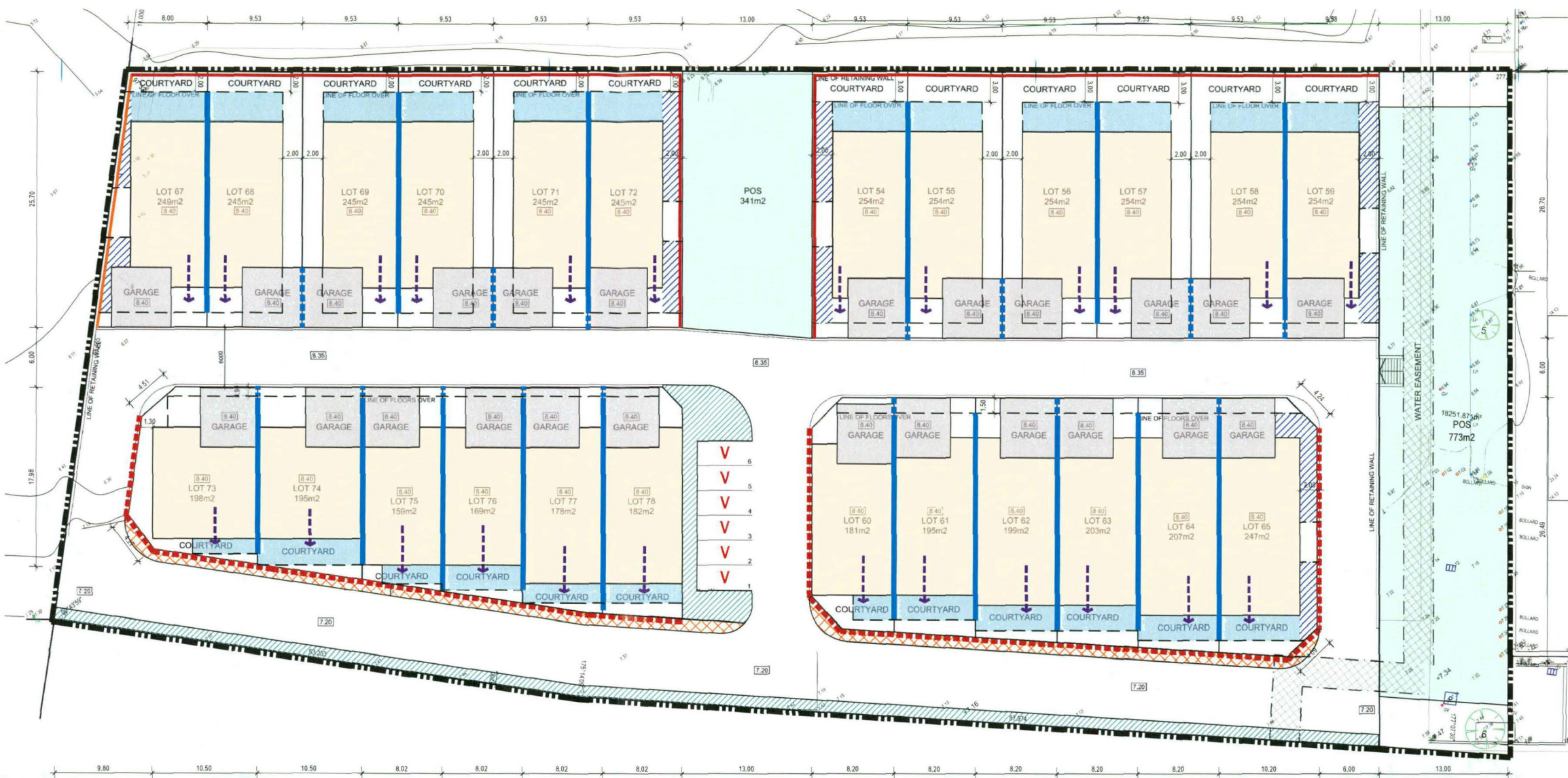
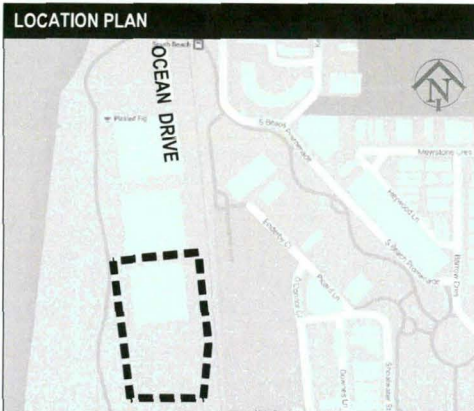
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AND URBAN DESIGN
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ipgwa



LOCAL DEVELOPMENT PLAN PROVISIONS

LOCAL DEVELOPMENT PLAN - THE ISLANDS - STRATA PLAN NO. 52597 - OCEAN DRIVE, NORTH COOGEE (SITES C & D)

This Local Development Plan (LDP) applies to the portion of Strata Plan 52597 as shown on the attached plan. The following provisions apply to all development on land the subject of this LDP.

1. GENERAL

- The provisions of the City of Cockburn Town Planning Scheme No. 3 (TPS3) and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied as detailed within this Local Development Plan (LDP). All other requirements of TPS3 and R-Codes shall be satisfied.
- 'Detailed Area Plan - Lot 1815' approved 14 May 2007 no longer applies to the portion of the site subject to this LDP and is hereby varied by this LDP.

2. RESIDENTIAL DESIGN CODE

- The Residential Design Code applicable to the lots the subject of this LDP is R80.

3. STREETScape

- All car parking spaces (including garages and carports) shall be located in accordance with the designated garage locations as shown on the LDP. Garages may be setback up to 6m from the envelopes detailed on the LDP in order to provide separation from the laneway and/or provide uncovered parking spaces in front of the garage.
- There are no prescribed setbacks from the internal access way. The alignment of the dwellings shall be generally consistent with the building envelopes on the LDP.
- Dwellings are to be designed to ensure at least one major opening to a habitable room or a balcony overlooks the internal access way for surveillance purposes.

4. DESIGN ELEMENTS

- A minimum 3 storey building height applies to Lots 60-65 and 73-78 as shown on the LDP.
- A minimum 2 storey building height applies to Lots 54 - 59 and 67-72 as shown on the LDP.
- Natural ground level, where a measurement is required, shall be measured from the finished floor levels as prescribed on this LDP.

5. SETBACKS

- Setbacks and boundary wall locations are to be in accordance with those outlined on the LDP.
- Boundary walls are permitted to the maximum height outlined in Clause 4.1 and 4.2 above.
- Boundary walls labelled (garage only) are permitted to one storey and a height of 3.5m.
- Any side and rear setbacks not prescribed on the LDP are to be in accordance with the R-Codes.

6. OPEN SPACE

- Minimum 40% open space is required and is calculated across the entire LDP area including easements and access ways.
- Each dwelling shall be provided with at least one outdoor living area, opening directly from a habitable room and with a minimum area of 10m² and minimum dimension of 2.4m.
- Balconies equal to or greater than 10m² may be included in open space calculations.
- Swimming pools may be provided in the allocated courtyards on the LDP.

7. PUBLIC OPEN SPACE

- Public Open Space shall provide a connection with the public footpath along the foreshore reserve to the west of the subject site. Levels of the Public Open Space are to be integrated with the levels of the public footpath.
- Sites abutting areas of Public Open Space shown on this LDP shall orientate dwellings and outdoor living areas to provide surveillance of the Public Open Space.

8. BUSHFIRE MANAGEMENT

- A Bushfire Attack Level (BAL) assessment shall be provided prior to consideration of any Development Application, in accordance with the requirements of State Planning Policy 3.7: Planning in Bushfire Prone Area and the Guidelines for Planning in Bushfire Prone Areas (SPP3.7).
- For any lots where the BAL rating requires a bushfire management plan under SPP3.7, the bushfire management plan shall be completed and endorsed by the City prior to, or at the time of determination of any Development Application. All lots within the LDP are designated bushfire prone areas for the purpose of implementing AS3959 under the National Construction Code.

9. OTHER

- Material used in construction shall be reflective of a coastal vernacular theme, durable and suitable for their coastal environment.
- Northern solar access and cross ventilation opportunities shall be maximised through design of dwellings.
- Roof mounted solar cells, solar hot water units and mechanical plant and equipment are not to be visible from the street or public places abutting the site.

- High quality, reticulated landscaping is to be provided in the corresponding areas on the LDP. The local government may request a landscaping plan as a condition of subdivision approval.

- Quiet house design principles are to be applied to the design and construction of all the dwellings to maximise amelioration of noise and vibration from the railway reserve. A detailed Noise Management Plan (acoustic report) shall be provided as part of the Development Application to demonstrate:

- Acceptable indoor noise levels in noise-sensitive areas being achieved; and
- A 'reasonable' degree of acoustic amenity in at least one outdoor living area on each residential lot being achieved, to the satisfaction of the Local Government.
- All plans & supporting documents accompanying the Building Permit Application(s) must clearly demonstrate compliance with the Noise Management Plan, including the provision of mechanical ventilation or suitable ducted air conditioning with fresh air intakes, as part of the Building Permit application.

- Variations to the requirements of this LDP may be approved at the discretion of the Local Government.

APPROVAL

This LDP has been approved by the City under Clause 52(1)(a) of the deemed provisions (Schedule 2) of the Planning and Development (Local Planning Schemes) Regulations 2015.

D. Bell
Signature

27 May 2016
Date

PLANNING SOLUTIONS

URBAN & REGIONAL
PLANNING

SCALE 1:500 @ A3
DATE 19 May 2016
FILE 180519 4248 Local Development Plan.dwg
REVISION 4/EF/Rev19.05.2016
3/EF/Rev15.04.2016
2/EF/Rev12.04.2016

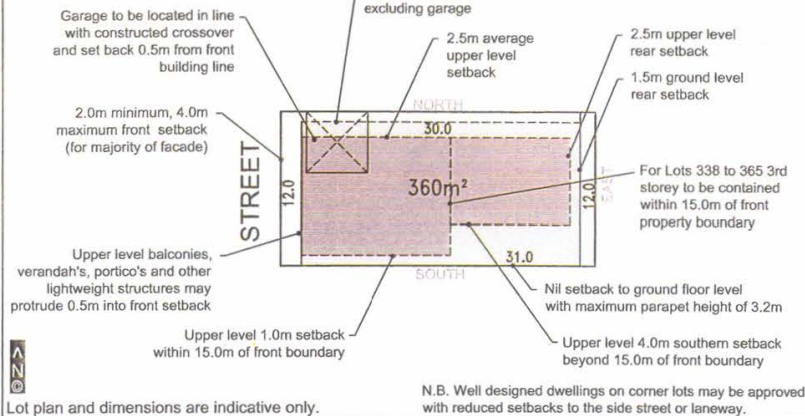


LOCAL DEVELOPMENT PLAN

LOT 53 (21) OCEAN DRIVE (DEVELOPMENT SITES C & D)
NORTH COOGEE, WESTERN AUSTRALIA

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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'A'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 9.5m maximum, excluding Lots 338 to 365.
- Lots 338 to 365 maximum height is 12.0m within 15.0m of front boundary and 9.5m maximum height beyond 15.0m.
- Minimum of 2 storeys required. Additional loft permitted on all Type 'A' lots excluding Lots 338 to 365. A loft must appear as a room(s) within the roof space (A maximum wall height of 500mm is permitted above the second floor slab).
- Maximum height of any southern wall is 6.5m (excluding any 3rd storey wall constructed on Lots 338 to 365) and maximum height of any southern parapet wall is 3.2m.

Garage

- To be located in line with constructed crossover and set back 0.5m behind main building line (average front setback excluding garage).
- For corner lots where vehicle access is obtained via a laneway or secondary street, a 1m setback to the street/laneway is required and a nil rear/side setback is permitted (provided the parapet wall height is a maximum of 3.2m).
- Maximum garage wall parapet length is 9.0m.
- Maximum garage width is 7.0m (double door).

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum of 20m² of open space with a minimum dimension of 4.0m is to be provided and preferably about the northern boundary. 50% of this open space is to remain uncovered.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedrooms) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street or laneway through design, fenestration, materials and major opening(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Shadows may be cast over more than 35% of the adjoining property.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street or laneway).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch. Solar cells must not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper Level Envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Date 12/10/05

SCALE 1:3000



SCALE 1:3000



Figure No.

Title: DETAILED AREA PLAN - LOT TYPE 'A'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 7 OCTOBER 2005

Revision No: C

Scale: 1:3000 @ A3

Job No: 704226

Designer:

Drawn: S.L.

E Reference: 704-226-DATA.DWG

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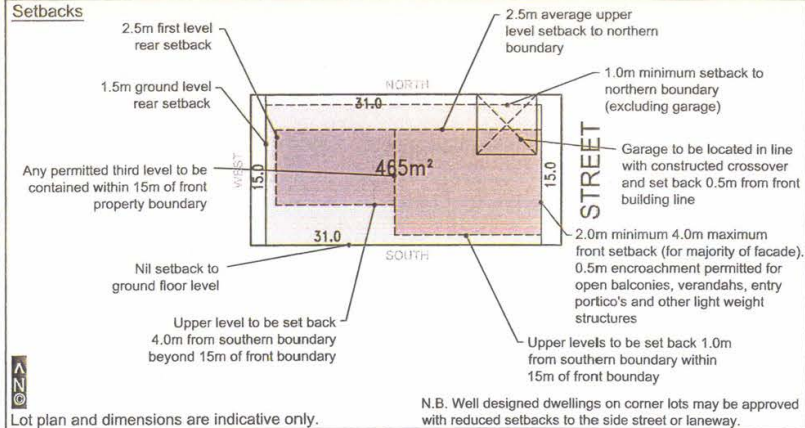
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THE PLANNING GROUP

10 SEP 2005

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www.planninggroup.com.au

Setbacks



Lot Type 'B'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 9.5m maximum, excluding Lots 305 to 318 and 388 to 393.
- Lots 305 to 318 and 388 to 393 maximum height is 12.0m and 3 storeys and no additional loft is permitted above the third storey. The maximum height beyond 15m of the front boundary is 9.5m.
- Minimum of 2 storeys required. Additional loft permitted above the second storey. A loft must appear as a room(s) within the roof space (A maximum wall height of 500mm is permitted above the second floor slab).
- Maximum height of any southern wall is 6.5m, excluding any permitted third storey.
- Maximum height of any southern parapet wall is 3.2m.

Garage

- To be located in line with constructed crossover and set back 0.5m behind main building line (average front setback excluding garage).
- For corner lots where vehicle access is obtained via a laneway or secondary street, a 1m setback to the street/laneway is required and a nil rear/side setback is permitted (provided the parapet wall height is a maximum of 3.2m).
- Maximum garage wall parapet depth is 9m.
- Maximum garage width is 7m (double door).

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum of 20m² of open space with a minimum dimension of 4.0m is to be provided and preferably about the northern boundary. 50% of this open space is to remain uncovered.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedrooms) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots, the dwelling must also address the side street or laneway through design, fenestration, materials and major opening(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Shadows may be cast over more than 35% of the adjoining property.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street or laneway).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch. Solar cells must not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper Level Envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner PP

Date 12/10/05



SCALE 1:3000



Figure No

Title: DETAILED AREA PLAN - LOT TYPE 'B'
SOUTH BEACH FOR STOCKLAND DEVELOPMENT PTY LTD

Date: 7 OCTOBER 2005

Revision No: C

Scale: 1:3000 @ A3

Job No: 704-226

Designer:

Drawn: S.L.

Reference: 704-226 DMA DWG

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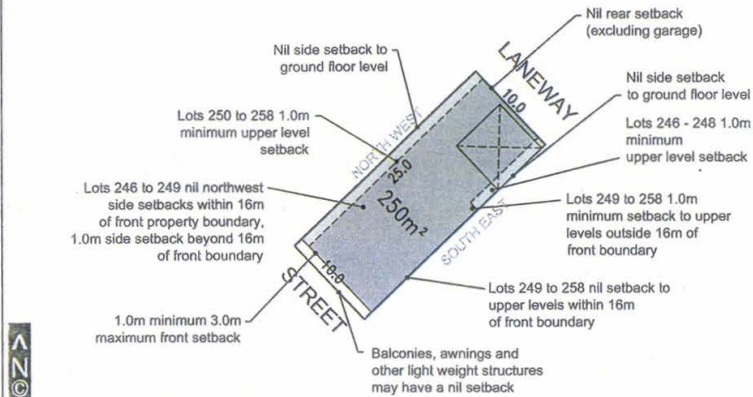
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THE PLANNING GROUP

10 SEP 2005

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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'C'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 12.0m maximum.
- Minimum of 2 storeys.
- Maximum of 3 storeys.

Garage

- Lots 246-251 0.5m setback from rear boundary.
- Lots 252-258 1.0m setback from rear boundary.
- To be located on southern boundary unless demonstrated an alternative location provides better solar access to the subject or adjoining property.
- Must have a 45° visual truncation to both sides of the entrance to the garage.
- For Lots 253 - 258 where a neighbouring garage abuts the property boundary a sealed 700mm X 700mm (990mm) truncation clear of all obstructions shall be provided and maintained adjoining the entry to the neighbours garage to ensure a 45° truncation is provided to laneway.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.

Other

- Applicable Residential Density Code R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum of 20m² of open space with a minimum dimension of 4m is to be provided and preferably about the northern boundary. 50% of this open space is to remain uncovered.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² may be included as open space.
- Dwelling to address street by way of design, fenestration, entry and must contain major opening(s).
- Windows should generally have a vertical proportion to the street.
- Activation of laneway initiatives required.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Shadows may be cast over more than 35% of the adjoining property.
- No change in level greater than 200mm above or below the existing level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper Level Envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 25/11/05



SCALE 1:3000



Figure No.

Title DETAILED AREA PLAN - LOT TYPE 'C'
SOUTH BEACH FOR STOCKLAND DEVELOPMENT PTY LTD

Date 20 OCTOBER 2005 Revision No. C

Scale 1:3000 @ A3 Job No. 704.228

Designer: Drawn: SA

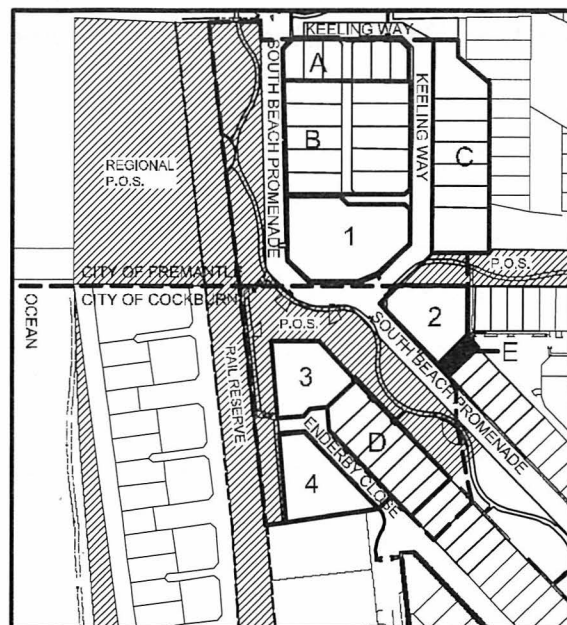
E Reference 704.228.DATA.typeC.DWG

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LOCATION PLAN

LEGEND



CITY of COCKBURN - RESIDENTIAL DENSITY CODE R40

DESIGN INTENT

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

HEIGHT

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 12m maximum
- Minimum of 2 storeys
- Maximum of 3 storeys

GARAGE

- To be located 0.5m back from rear boundary
- to be located on southern boundary unless demonstrated an alternative location provides better solar access to the subject or the adjoining property.
- must have 45 degree visual truncation to both sides of the garage.

FENCING

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.

OTHER

- Applicable Residential Density Code R40

- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required
- A minimum of 40m² open space with a minimum dimension of 4m is to be provided and preferably about the northern boundary. 50% of this open space is to remain uncovered.
- An upper level balcony with a minimum dimension of 2m, min area 10m² may be included as open space.
- Dwellings must address the street by way of design, fenestration, entry and must contain major opening(s).

tain major opening(s).

- Windows should generally have a vertical proportion to the street.
- Activation of laneway initiatives required.
- Where it can be demonstrated that windows balconies or terraces do not create an overlooking concern, the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be designed so the at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Shadows may be cast on more than 35% of the adjoining property.
- No change in level greater than 200mm above or below the existing level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimize noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible similar to the roof colour.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be easily seen from the street.
- Minor variations to the requirements of the residential design codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by Jones Coulter Young / Landcorp / and / or the Principal Planner.

TYPE E



0 2.5 5 10 25m

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No.3 - apply except for variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Principal Planner *Ace*

date 11.10.2007

PROJECT NO:
0358

PROJECT:
SOUTH BEACH - LANDCORP

DRAWING
DETAILED AREA PLAN - TYPE E

DRAWING NO:
j/projects/0358/guide-
lines20041018 / DAPS

SCALE:
1:500 @A3

DATE
AUG 2007

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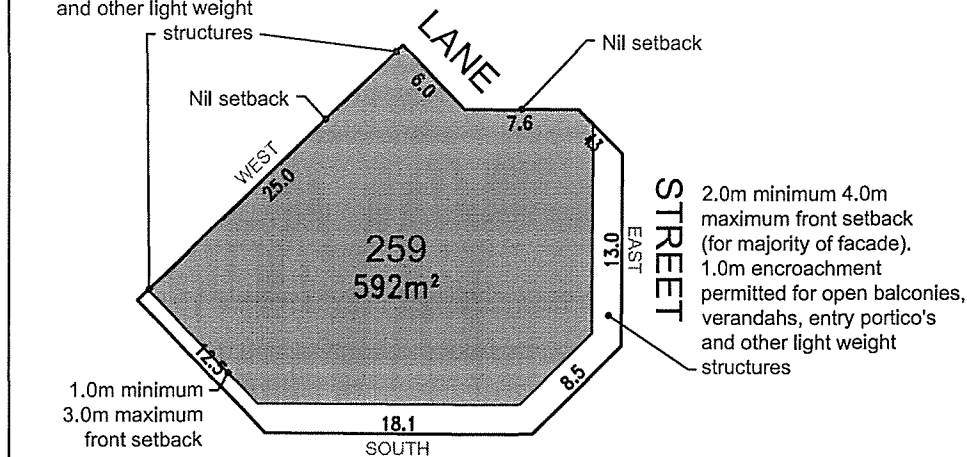


JONES COULTER YOUNG
architects and urban designers

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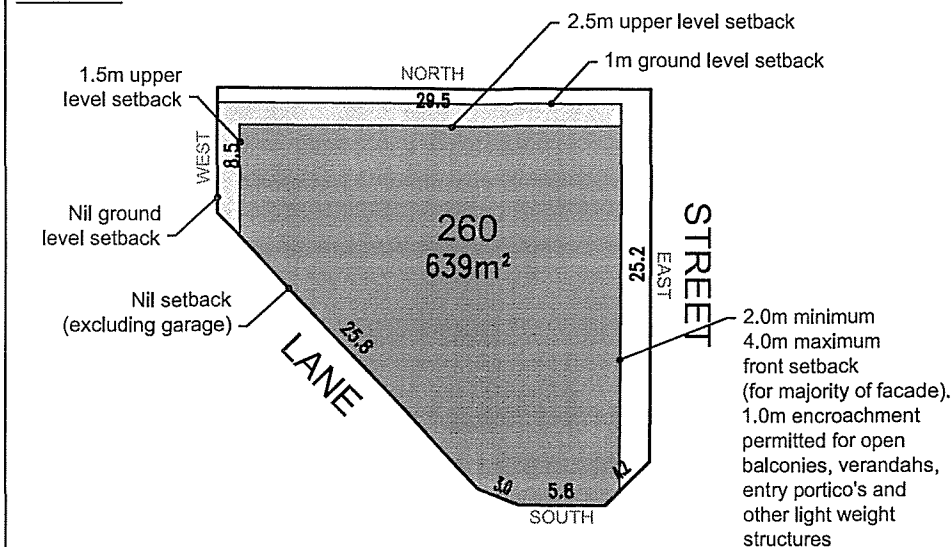
Setbacks

1.0m minimum side setback for balconies, verandahs, entry portico's and other light weight structures



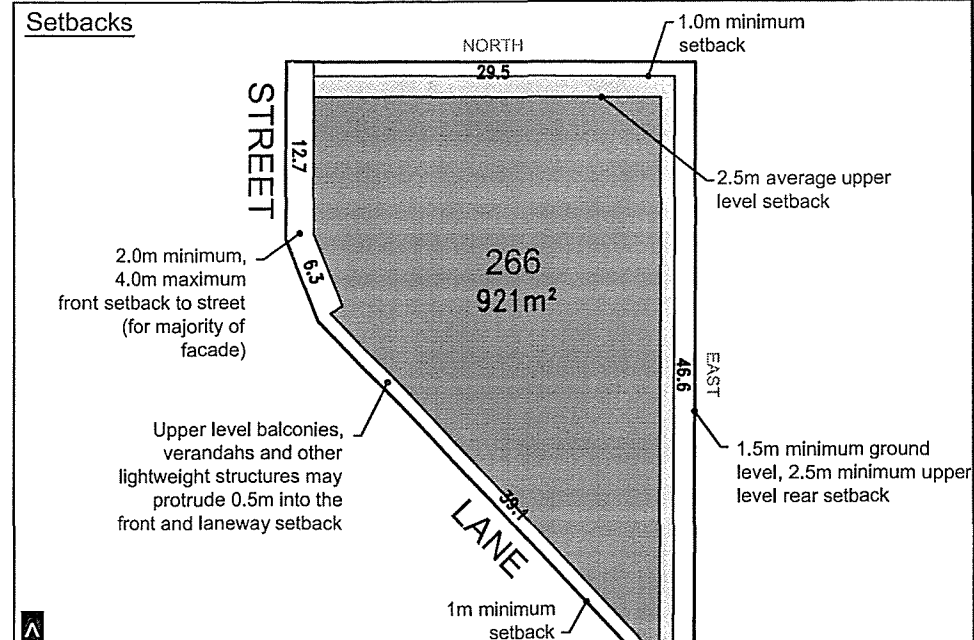
Lot plan and dimensions are indicative only.

Setbacks



Lot plan and dimensions are indicative only.

Setbacks



Lot plan and dimensions are indicative only.

Lots 259, 260 and 266

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Lot 259 - maximum height is 12m and 3 storeys plus a loft is permitted above third storey. A good proportion of the development must be 3 storeys.
- Lot 260 and 266 - maximum height is 9.5m and 2 storeys plus a loft is permitted above second storey. A minimum of 2 storeys is required.
- Lofts must appear as a room within the roof space (a maximum wall height of 500mm is permitted above the second/third storey floor slab).

Garage

- All garages must be accessed from rear laneway, have a minimum setback of 1.0m and provided with 45° visual truncations.

Fencing

- All fencing forward of the dwelling, including fencing abutting the laneway truncation to Lot 260, both street frontages to Lot 259 and the street (not laneway) frontage to Lot 266, is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.

Other

- Lot 259 applicable Residential Density Code is R40 or R80. Lot 260 applicable Residential Density Code is R40 and Lot 266 the Density Code can be either R20 or R40 (R40 encouraged).
- Lots cannot be subdivided or amalgamated unless consistent with an approved development constructed up to first floor plate height.
- Minimum 40% open space required for R40 lots and 55% for R80 developments.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedrooms) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots, the dwelling must also address the side street or laneway through design, fenestration, materials and major openings.
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be demonstrated to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street or laneway).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch. Solar cells must not be easily seen from the street.
- No blank walls, backs of garages or storage areas to be located to the street.
- Activation of Laneways is required. (e.g. surveillance, open/transparent fencing.)
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by TPG/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

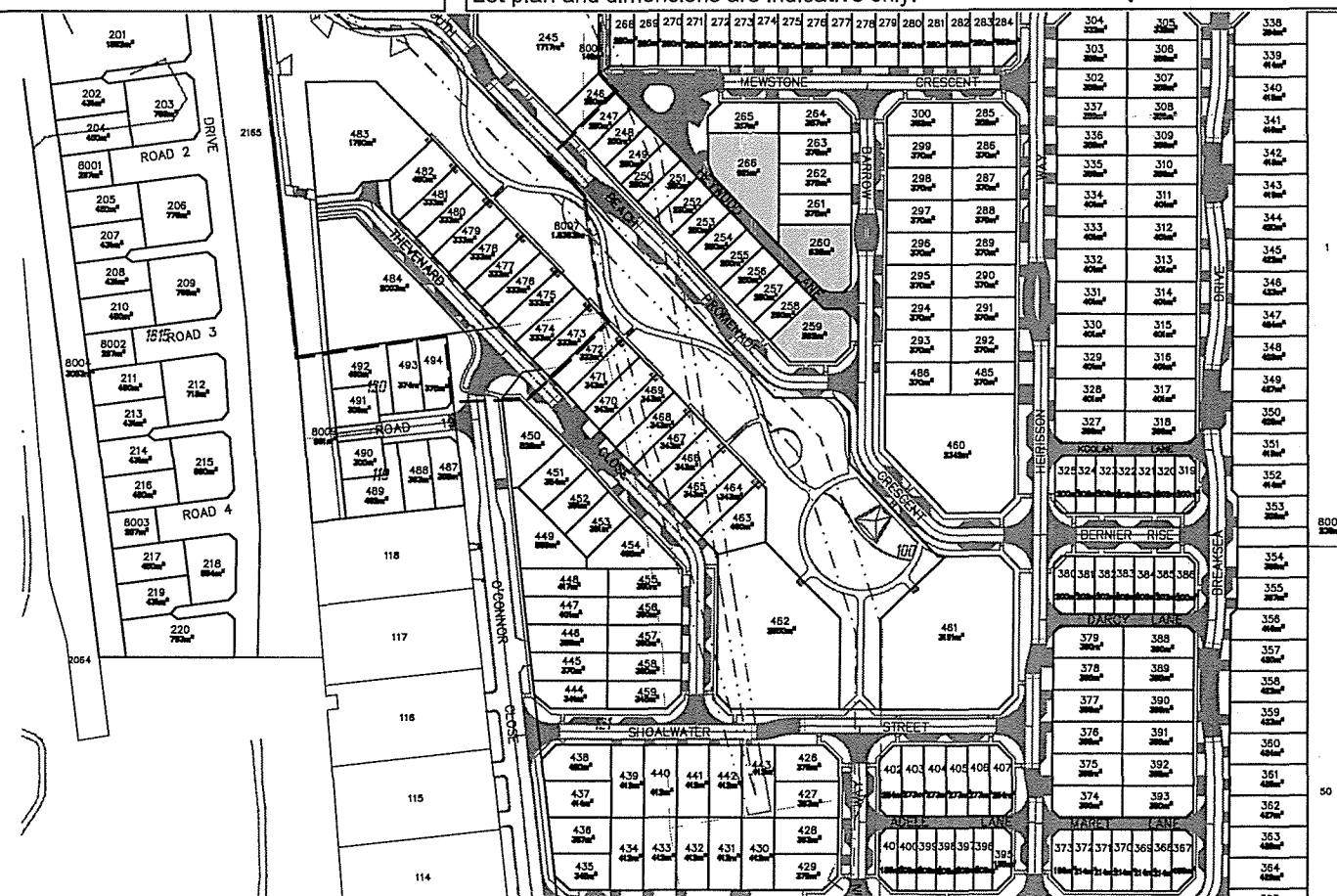
All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 19.4.07



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOTS 259, 260 and 266
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 12 APRIL 2007 Revision No: C

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

E Reference: 704.226 DA11A type lots 259, 260 and 266.dwg

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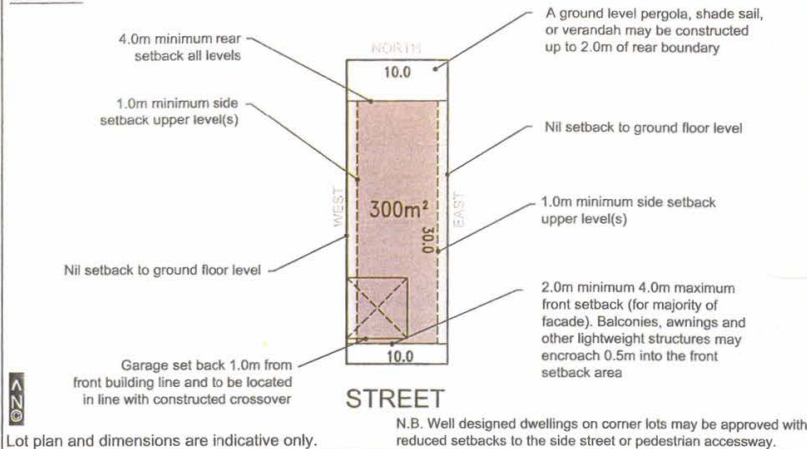
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'D'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 12m maximum.
- Minimum of 2 storeys required.
- Maximum of 3 storeys.

Garage

- Set back approximately 1.0m behind main building line (average front setback excluding garage).
- To be located in line with constructed crossover (indicated on plan).
- Maximum garage width is 6.5m (double door).

Fencing

- No fencing permitted to the street. Fencing to the rear (north) may be a maximum of 2.0m high, but any fencing above 1.65m must be 70% permeable.
- Any gate must be 25% visually permeable.
- 2.0m high solid fencing permitted to the sides.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- Dwelling to address street by way of design, fenestration, entry and must contain major opening(s).
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedrooms) may be included as open space.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Windows should generally have a vertical proportion to the street.
- No change in level greater than 200mm above or below the existing level is permitted.
- Shadows may be cast over more than 35% of the adjoining property.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be easily seen from the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 17/10/05



Figure No:

Title: DETAILED AREA PLAN - LOT TYPE 'D'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 7 OCTOBER 2005

Revision No: C

Scale: 1:3000 @ A3

Job No: 704-226

Designer:

Drawn: S.A.

E Reference: 704-226 DATA (mtd) dwg

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10 SEP 2005

THE PLANNING GROUP

Setbacks

Nil setback permitted for open balconies, verandahs, entry porticos and other light weight structures and architectural features

1.0m minimum 3.3m maximum front setback

Nil side setback required for front portion of dwelling so that it presents as a uniform streetscape of terrace dwellings. Nil side setbacks are permitted for remainder of boundary

STREET

8.4

210m²

LANEWAY

1.0m rear ground level setback (including fencing)

Nil rear setback to upper level (excluding garage)

Lot plan and dimensions are indicative only.

Lot Type 'E'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 12m maximum.
- Minimum of 2 storeys required.
- Maximum of 3 storeys permitted excluding the rear of the site where the maximum is two storeys (including garage).

Garage

- Maximum garage width is 7.0m (double door).
- 45° visual truncation required to both sides of garage.
- Vehicle access to be obtained from laneway.

Fencing

- Front fencing not required. If proposed, the maximum height forward of the dwelling is 1.5m and all fencing/retaining above 900mm to be 70% visually permeable. These heights are taken from the natural ground and not from the finished level of any terrace constructed forward of the building line. Any fence above a raised terrace may be a maximum of 1.1 metres high provided it is 75% visually permeable.
- 2.0m high solid fencing permitted to the rear, but must be set back 1m from the rear boundary.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space.
- A minimum of 20m² open space with a minimum dimension of 4.0m is to be provided. At least 50% of this open space is to be uncovered.
- The area of the truncation of any corner lots can be included on the lot area in open space calculations.
- An upper level balcony with a minimum dimension of 2.0m, and a minimum area of 10m² may be included as open space.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Dwelling to address street by way of design, fenestration, entry and must contain major opening(s).
- Windows should generally have a vertical proportion to the street.
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major opening(s).
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must also be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be easily seen from the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 31/7/06

SCALE 1:3000

THE PLANNING GROUP

Figure No: 17 JUN 2006

Title: DETAILED AREA PLAN - LOT TYPE 'E'
SOUTH BEACH for STOCKLAND DEVELOPMENTS PTY LTD

Date: 6 JUNE 2006 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: SL

E Reference: 704.226 DATA typeE.dwg

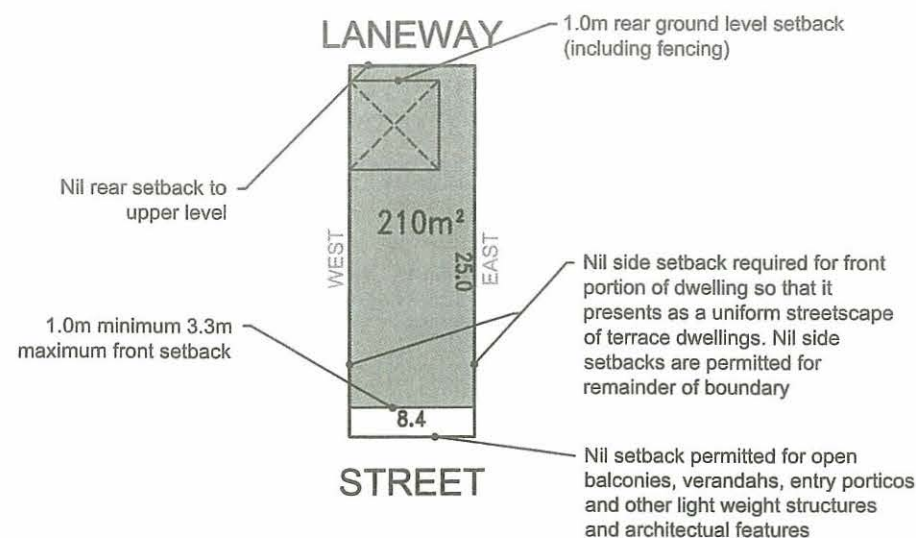
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'F'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- 12m maximum.
- Minimum of 2 storeys required.
- Maximum of three storeys permitted excluding the rear of the site where the maximum is two storeys (including garage).

Garage

- Maximum garage width is 7.0m (double door).
- 45° visual truncation required to both sides of garage.
- Vehicle access to be obtained from laneway.

Fencing

- Front fencing not required. If proposed, the maximum height forward of the dwelling is 1.5m and all fencing/retaining above 900mm to be 70% visually permeable. These heights are taken from the natural ground and not from the finished level of any terrace constructed forward of the building line. Any fence above a raised terrace may be a maximum of 1.1 metres high provided it is 75% visually permeable.
- 2.0m high solid fencing permitted to the rear, but must be set back 1m from the rear boundary.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code R40.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space.
- A minimum of 20m² open space with a minimum dimension of 4.0m is to be provided. At least 50% of this open space is to be uncovered.
- An upper level balcony with a minimum dimension of 2.0m, and a minimum area of 10m² may be included as open space.
- The area of the truncation of any corner lots can be included on the lot area in open space calculations.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- Dwelling to address street by way of design, fenestration, entry and must contain major opening(s).
- Windows should generally have a vertical proportion to the street.
- For corner lots, the dwelling must also address the side street through design, fenestration, materials and major opening(s).
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must also be below the roof ridge and where possible be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be easily seen from the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern, the City of Cockburn may relax the cone of vision requirements.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by The Planning Group/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

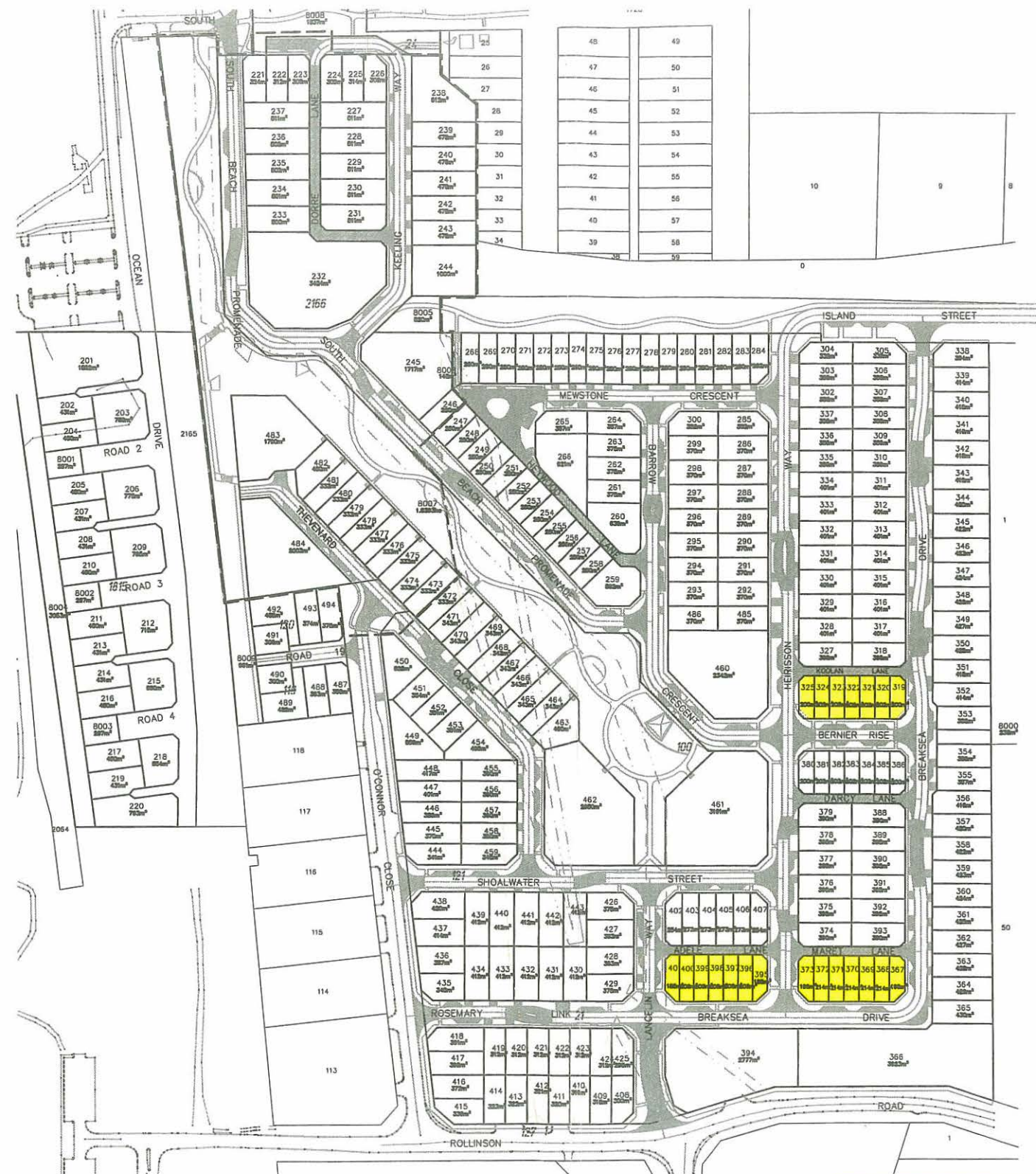
All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Garage

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 31/7/06



SCALE 1:3000

Figure No:

Title: DETAILED AREA PLAN - LOT TYPE 'F'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 31 MAY 2005 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

E Reference: 704.226 DABA type F.dwg

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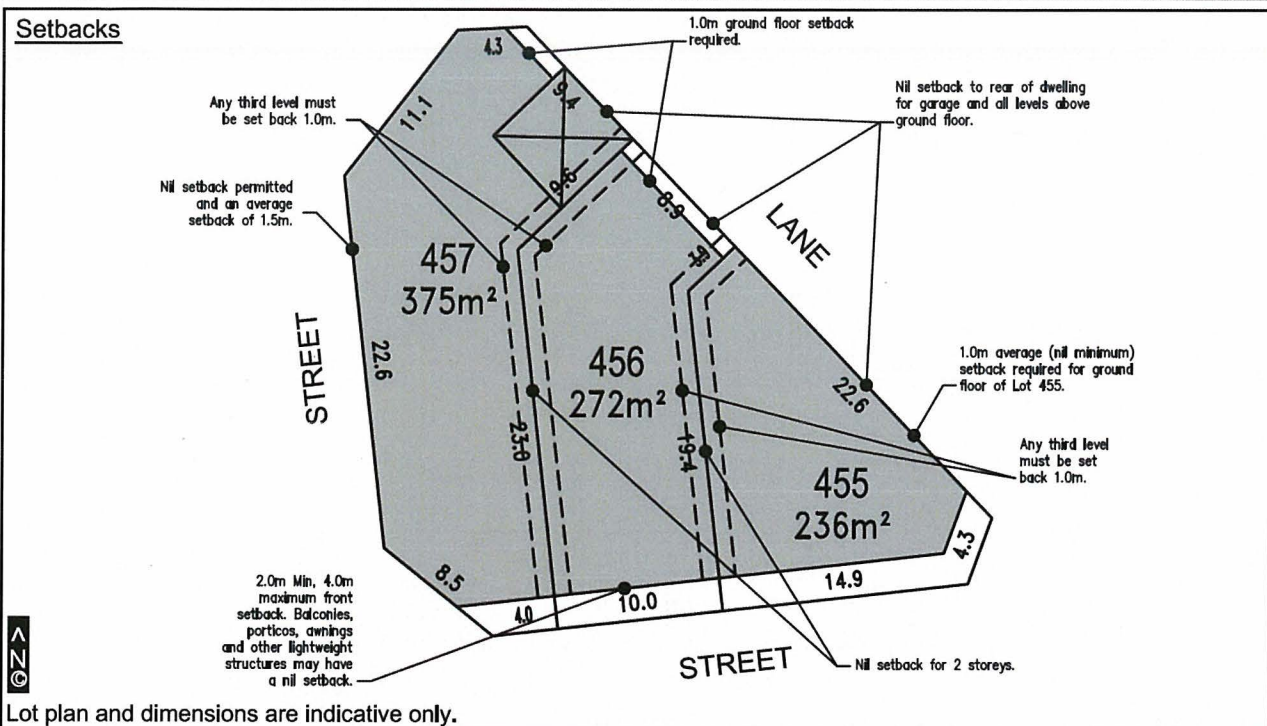
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Setbacks



Lots 455 - 457

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres. A loft is to be contained within the roof space with the roof pitching point to be no higher than 500mm above the upper floor level.

Garage

- Garage for Lot 455 may be accessed either from the laneway (preferred) or Shoalwater Street. Where accessed from the laneway a nil setback is permitted and where accessed from Shoalwater Street the garage shall be setback a minimum of 0.5m behind main building line (average front setback excluding garage).
- For Lots 456 and 457 the garage is to be accessed from the laneway and a nil setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets and the laneway abutting Lot 455 shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway for Lots 457 and 456 may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

Building Envelope

Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date **2-8-09**



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOTS 455 - 457
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 10 August 2009 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.J.

E Reference: 704.226 DA18D type lots 455 - 457.dwg

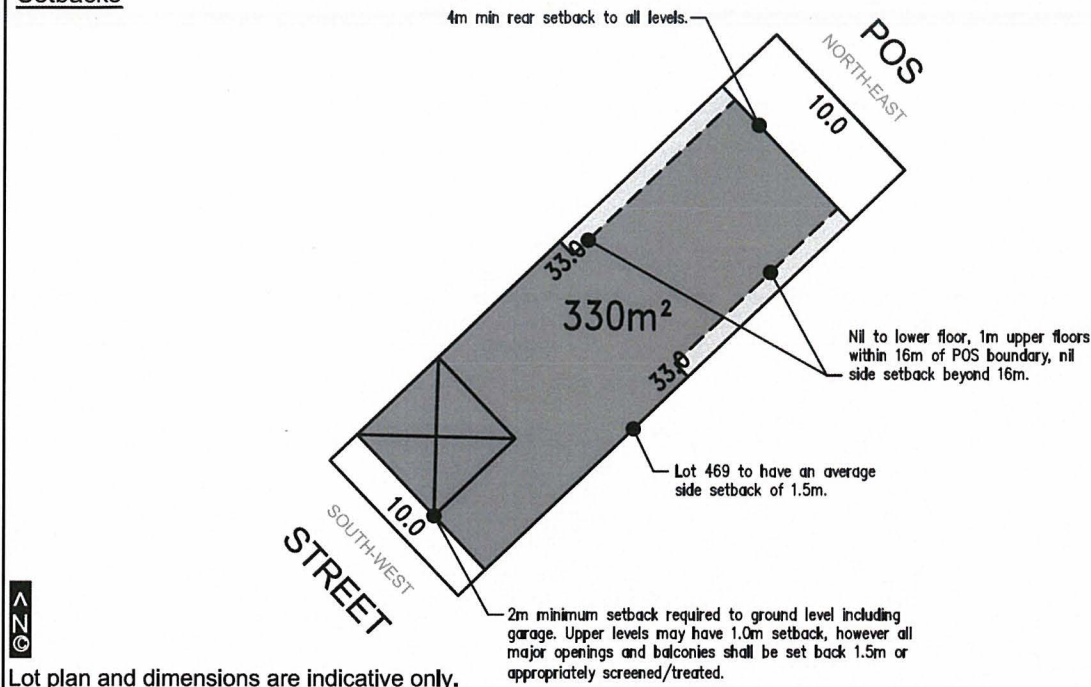
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Setbacks



Lot plan and dimensions are indicative only.

Lots 469 - 472

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres. A loft is to be contained within the roof space with the roof pitching point to be no higher than 500mm above the upper floor level.

Garage

- To be accessed from the laneway (excluding corner truncations).
- Maximum garage width is 7.0m (double door) including supporting structures.
- Garage for Lot 469 shall abut the northwestern boundary.

Fencing

- The existing estate fencing and retaining walls shall remain unaltered. Where the fence to Lot 469 needs to be altered to align with the front building line, such fencing shall match the estate fencing. The remainder of the fencing to the side POS shall be limited to 1.5m in height above existing ground level with a solid base of a maximum of 900mm with the remainder being visually permeable except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- Any internal private open space area (excluding light well) shall abut the north western boundary, excluding Lot 469 which may abut the adjoining public open space. Any window to a light well adjoining a courtyard on the neighbouring property must contain obscure glazing and have limited opening potential.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- Dwelling to address the public open space by way of design, fenestration and must contain major opening(s).
- Dwelling to address the laneway by way of entry, design, fenestration and must contain major opening(s).
- Windows should generally have a vertical proportion to the public open space.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 12.8.09



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOTS 469 - 472
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 10 August 2009 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: SL

E Reference: 704.226 DA22D type lots 469-472.dwg

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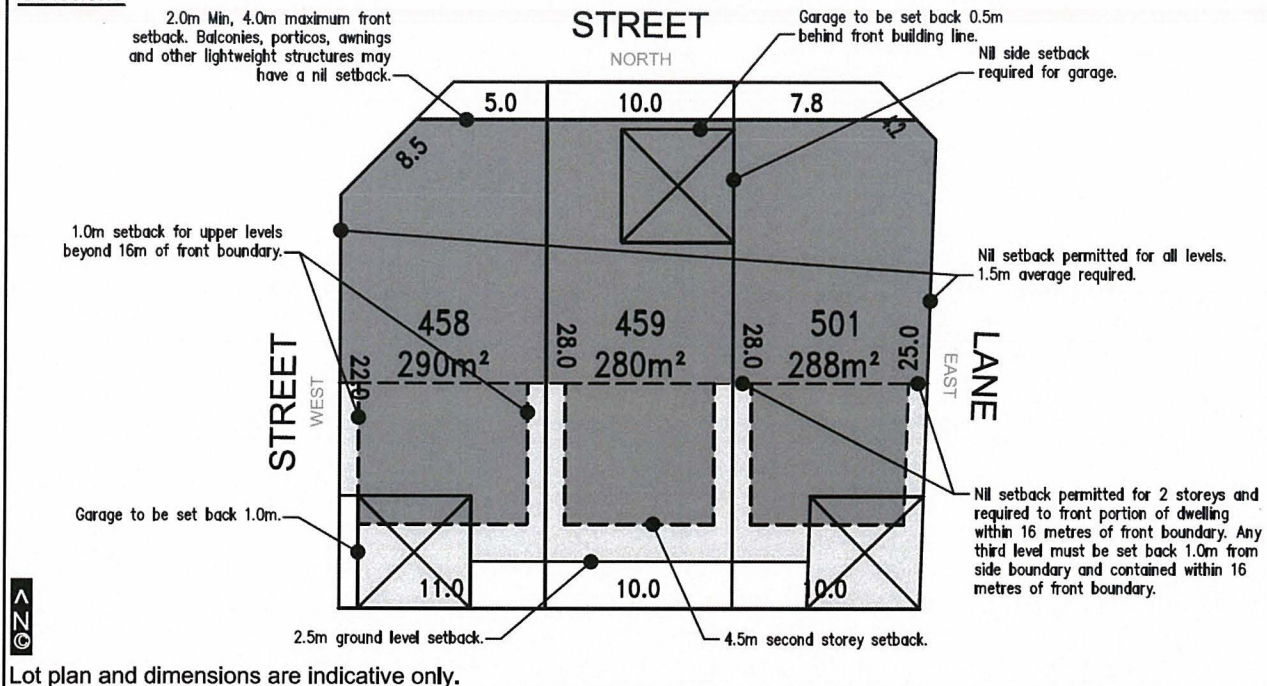
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Setbacks



Lots 458, 459 & 501

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres. A loft is to be contained within the roof space with the roof pitching point to be no higher than 500mm above the upper floor level.

Garage

- Garage for Lot 459 is to be setback a minimum of 0.5m behind main building line (average front setback excluding garage).
- For Lot 458 garage is to be accessed from the O'Connor Close and setback 1 metre from the street.
- For Lot 501 garage is to be accessed from the lane and may have a nil setback.
- A nil rear/side setback is permitted for the garages for Lots 458 and 501.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 12.8.09



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOTS 458, 459 & 501
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 10 August 2009

Revision No: D

Scale: 1:3000 @ A3

Job No: 704.226

Designer:

Drawn: S.L.

E Reference: 704.226 DA21D type lots 458 459 501.dwg

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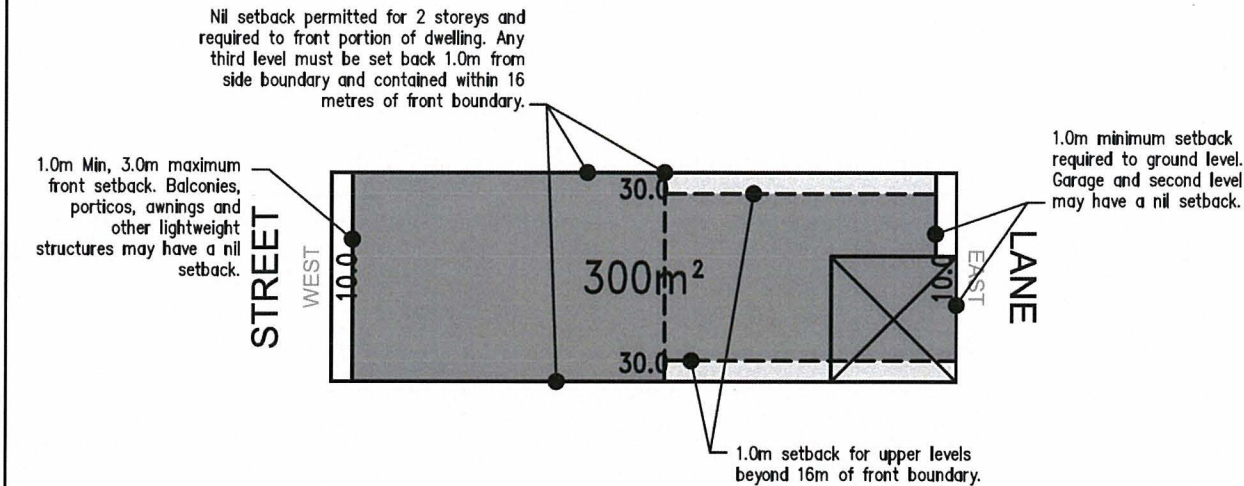
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'G'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres. A loft is to be contained within the roof space with the roof pitching point to be no higher than 500mm above the upper floor level.

Garage

- To be accessed from the laneway (excluding corner truncations) and a nil setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to the side of Lot 511 shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway (and rear of Lot 511) may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided abutting the northern boundary. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street (or POS where applicable) by way of design, fenestration, entry and must contain major opening(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- Dwellings must be designed to ensure that at least one major opening to a habitable room captures northern winter sunlight.
- Shadows may be cast over more than 35% of the adjoining property.
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 12-8-09



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE 'G'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 10 August 2009 Revision No: E

Scale: 1:3000 @ A3 Job No: 704,226

Designer: Drawn: S.L.

E Reference: 704,226 DA12E typeG.dwg

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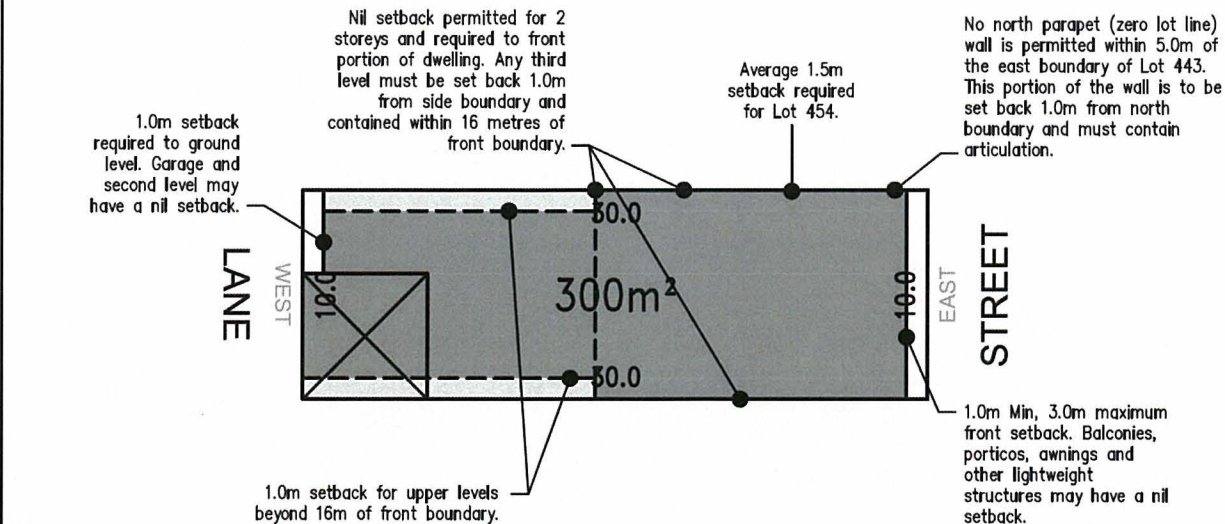
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'H'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres. A loft is to be contained within the roof space with the roof pitching point to be no higher than 500mm above the upper floor level.

Garage

- To be accessed from the laneway (excluding corner truncations) and a nil setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets (and side laneway to Lot 441) shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided abutting the northern boundary. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For Lot 454 the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- All dwellings abutting public open space shall be suitably designed and orientated to ensure passive surveillance. Dwellings shall have one or more major opening(s) to a habitable living room (excludes bedrooms) facing the public open space.
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- Dwellings must be designed to ensure that at least one major opening to a habitable room captures northern winter sunlight.
- Shadows may be cast over more than 35% of the adjoining property.
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

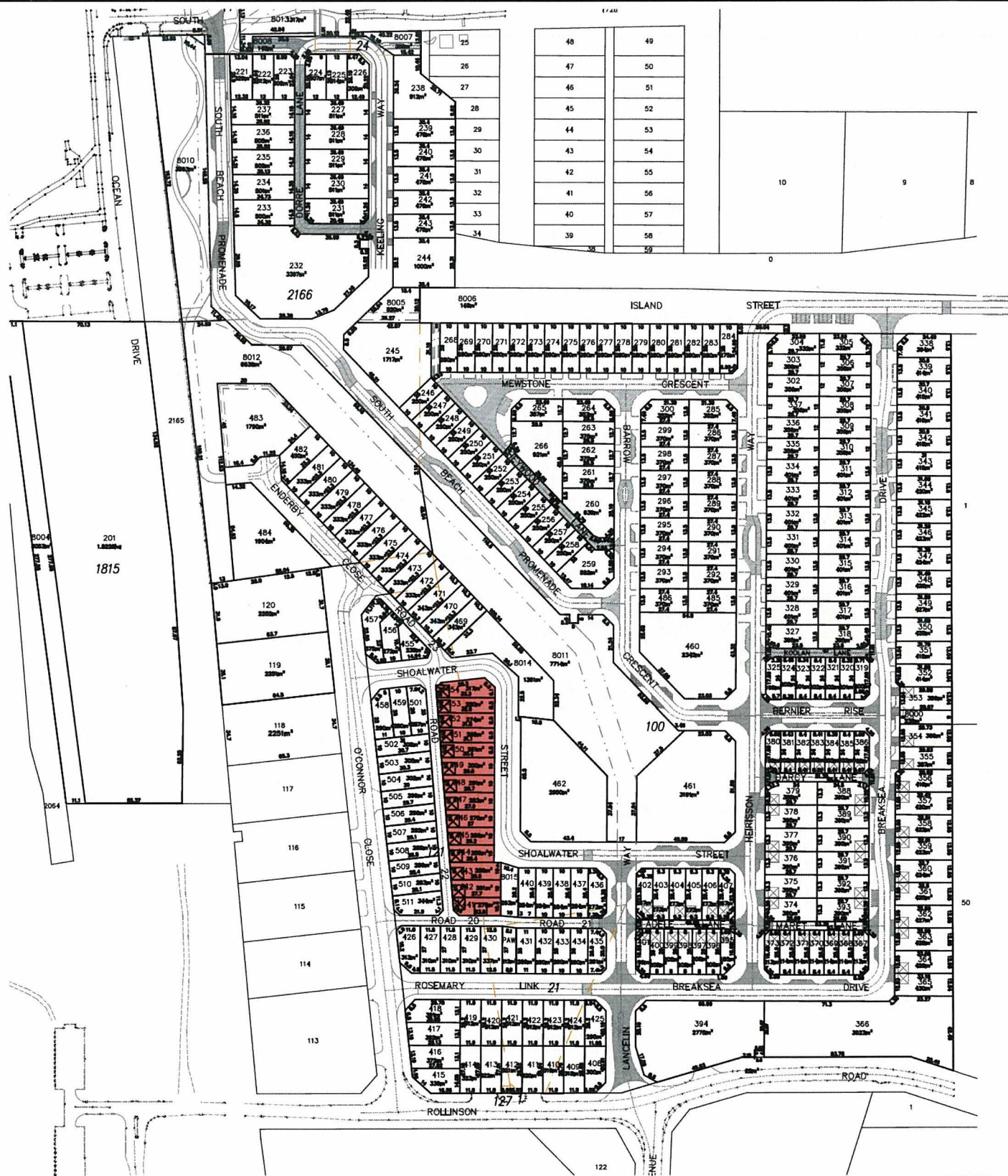
All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 12.8.09



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE 'H'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 11 August 2009 Revision No: E

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.J.

E Reference: 704.226 DA13E typeH.dwg

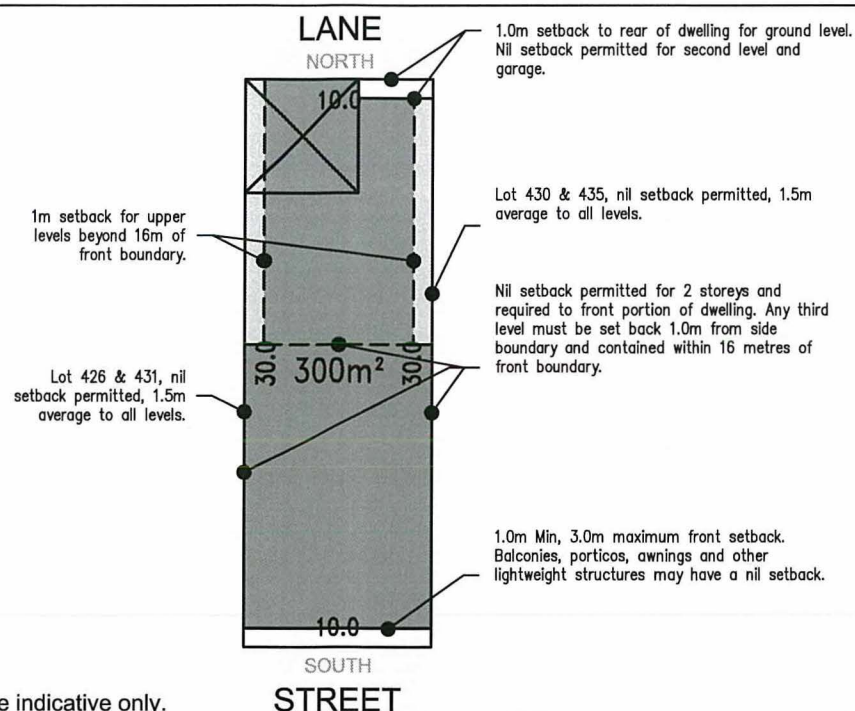
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type 'J'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.

Garage

- To be accessed from the laneway (excluding corner truncations) and a nil setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to the secondary street and side of lots 430 and 431 shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided abutting the eastern boundary (excluding Lots 426 and 431 where the open space may abut the western boundary). A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street or PAW through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- For Lot 430, no development shall occur within 2.0m of any electrical equipment within the substation area unless adequately fire protected.
- Where a development is setback at nil to a secondary street or Public Access Way (PAW) a high degree of architectural articulation is required through the treatment of building bulk, materials, fenestration and major openings.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope
- Designated garage location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date

15.1.2010



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE 'J'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 5 January 2010 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

E Reference: 704.226 DA19D typeJ.dwg

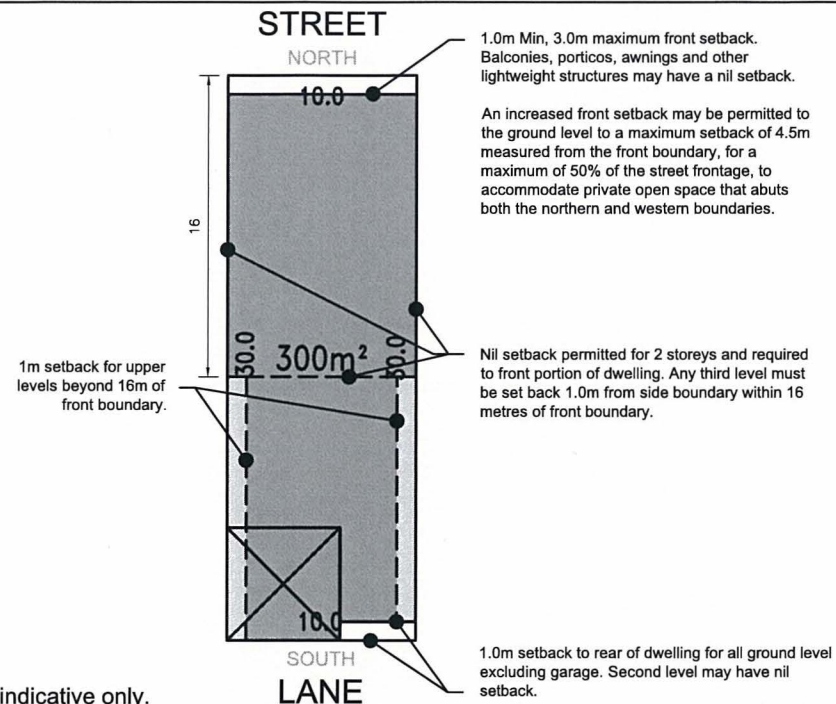
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Setbacks



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Lot Type 'K'

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.

Garage

- To be accessed from the laneway (excluding corner truncations) and a nil setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to the side of Lots 440 and 436 shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.
- The fencing to the laneway may be 2m in height and shall be setback 1m from the laneway to allow for landscaping and temporary bin storage.

Other

- Applicable Residential Density Code is R40.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided abutting the western boundary except Lot 436. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An increased front setback may be permitted to the ground level to a maximum setback of 4.5m measured from the front boundary, for a maximum of 50% of the street frontage, to accommodate private open space that abuts both the northern and western boundaries.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For Lot 436 and 440 the dwelling must also address the side street or POS through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

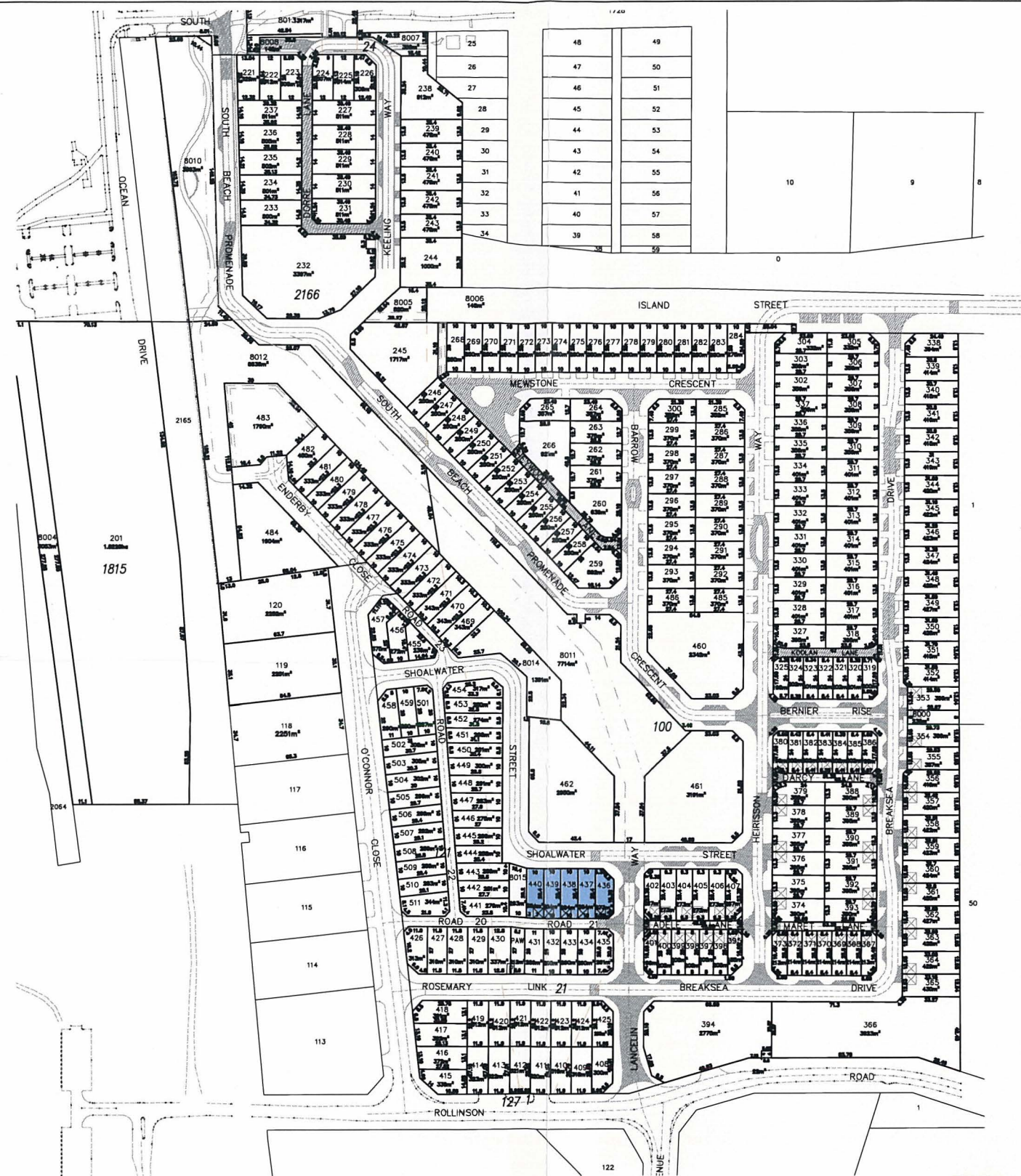
- Building Envelope
- Upper level envelope
- Designated garage location

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This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date

22/10/2010



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE 'K'
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 20 October 2010 Revision No: D

Scale: 1:3000 @ A3 Job No: 704.228

Designer: Drawn: S.L.

E Reference: 704.228 DA20D typeK.dwg

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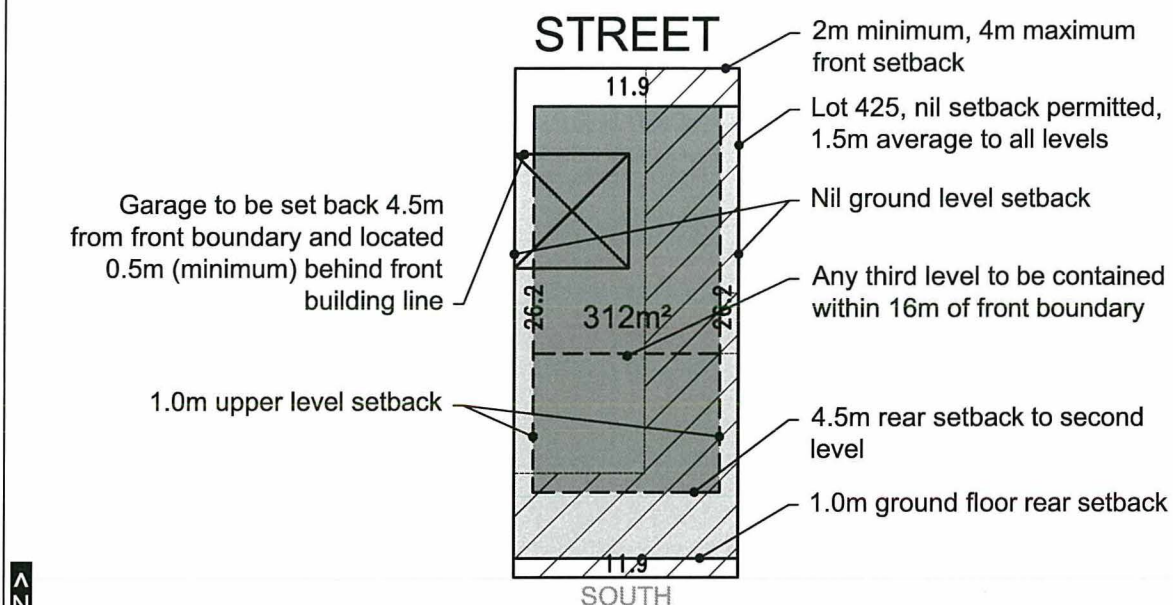
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Setbacks



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Lot Type L

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.

Garage

- To be located as indicated on the site plan opposite and set back 4.5m from the front property boundary and a minimum of 0.5m behind main building line (average front setback excluding garage).
- For Lot 425, vehicle access shall be obtained via the secondary street where a 1m setback to the garage is then required and a nil rear/side setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

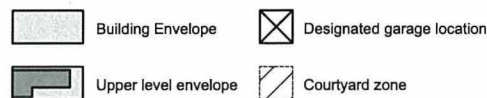
- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R60.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided within the zone indicated on the setback plan above. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides. The provision of private open space may be within the front setback area.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Where a development is setback at nil to a secondary street or Public Access Way (PAW) a high degree of architectural articulation is required through the treatment of building bulk, materials, fenestration and major openings.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

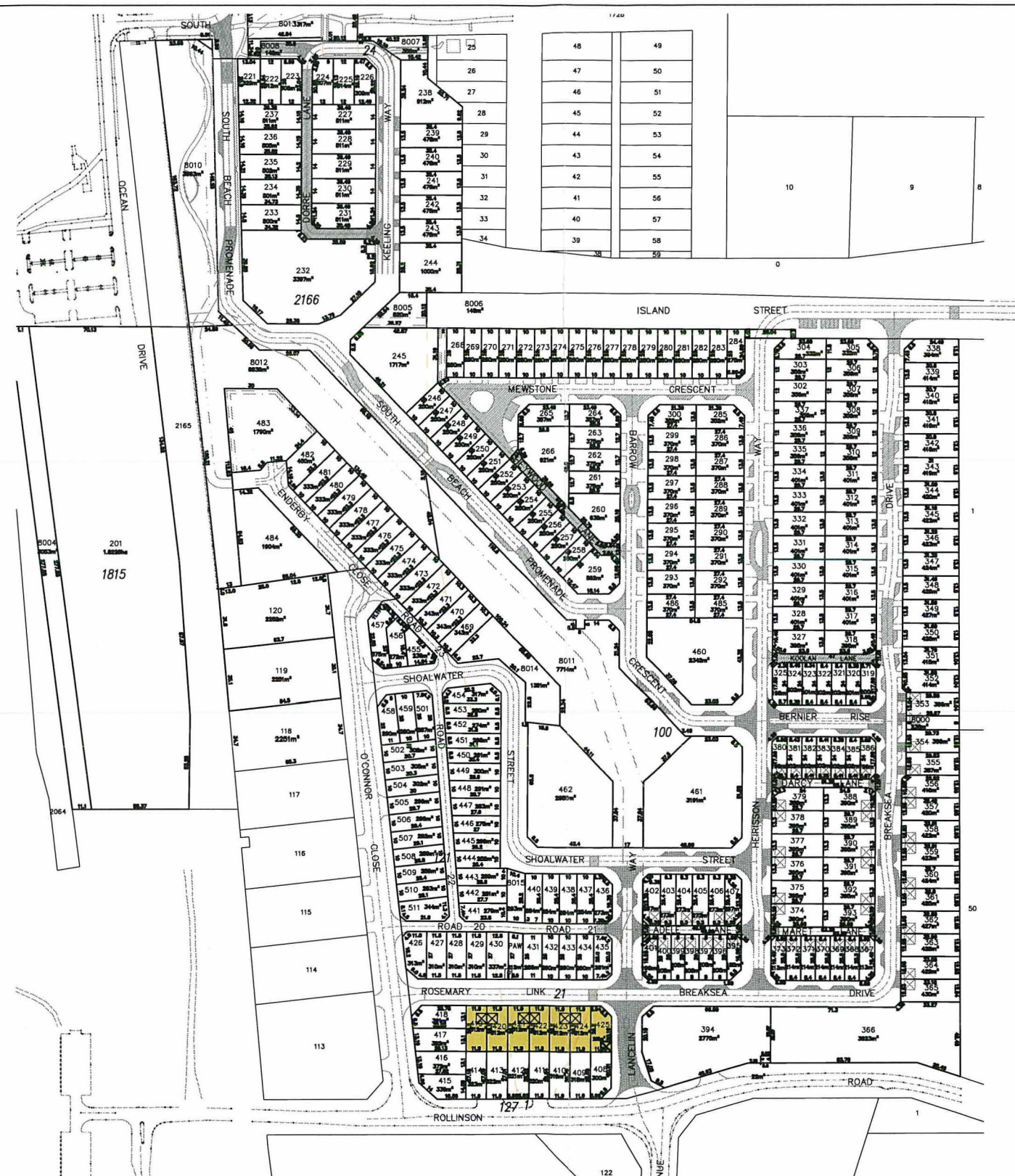
All dimensions and areas are subject to survey



Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 15.1.2010



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE L
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 5 January 2010 Revision No: C

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

E Reference: 704.226 DA24C typel.dwg

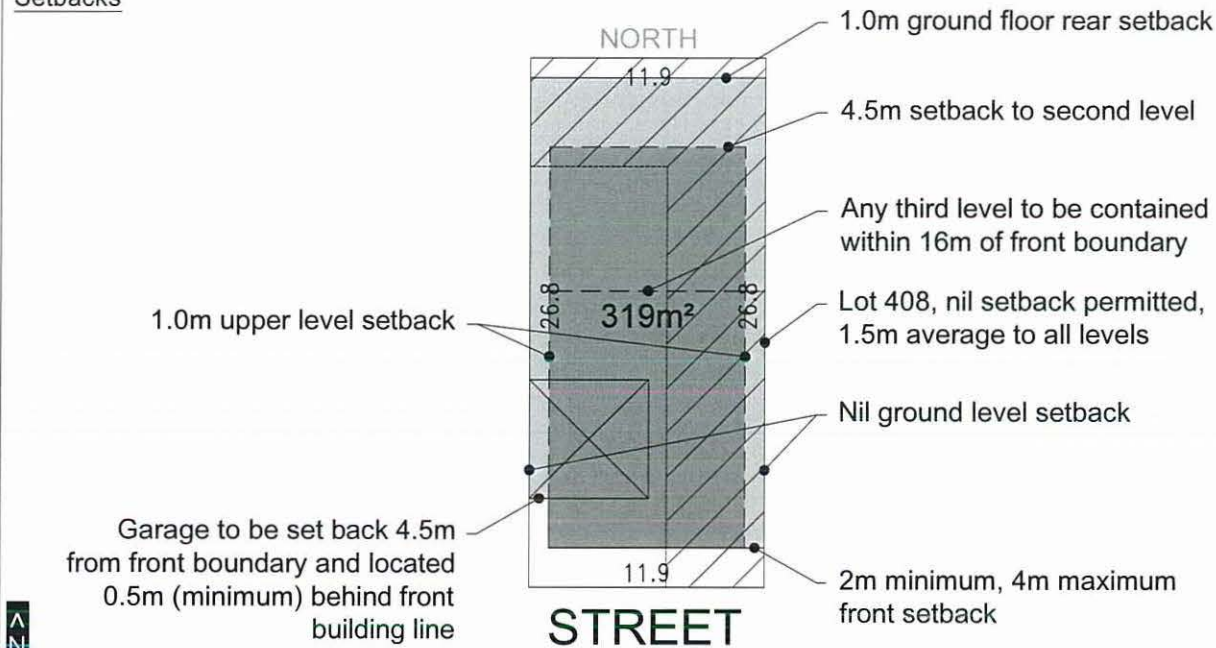
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Setbacks



Lot plan and dimensions are indicative only.

Lot Type M

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.

Garage

- To be set back 4.5m from the front property boundary and a minimum of 0.5m behind main building line (average front setback excluding garage).
- For Lot 408, vehicle access shall be obtained via the secondary street where a 1m setback to the garage is then required and a nil rear/side setback is permitted.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

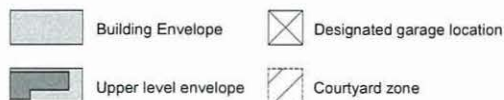
- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R60.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided within the zone indicated on the setback plan above. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides. The provision of private open space may be within the front setback area.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Where a development is setback at nil to a secondary street or Public Access Way (PAW) a high degree of architectural articulation is required through the treatment of building bulk, materials, fenestration and major openings.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

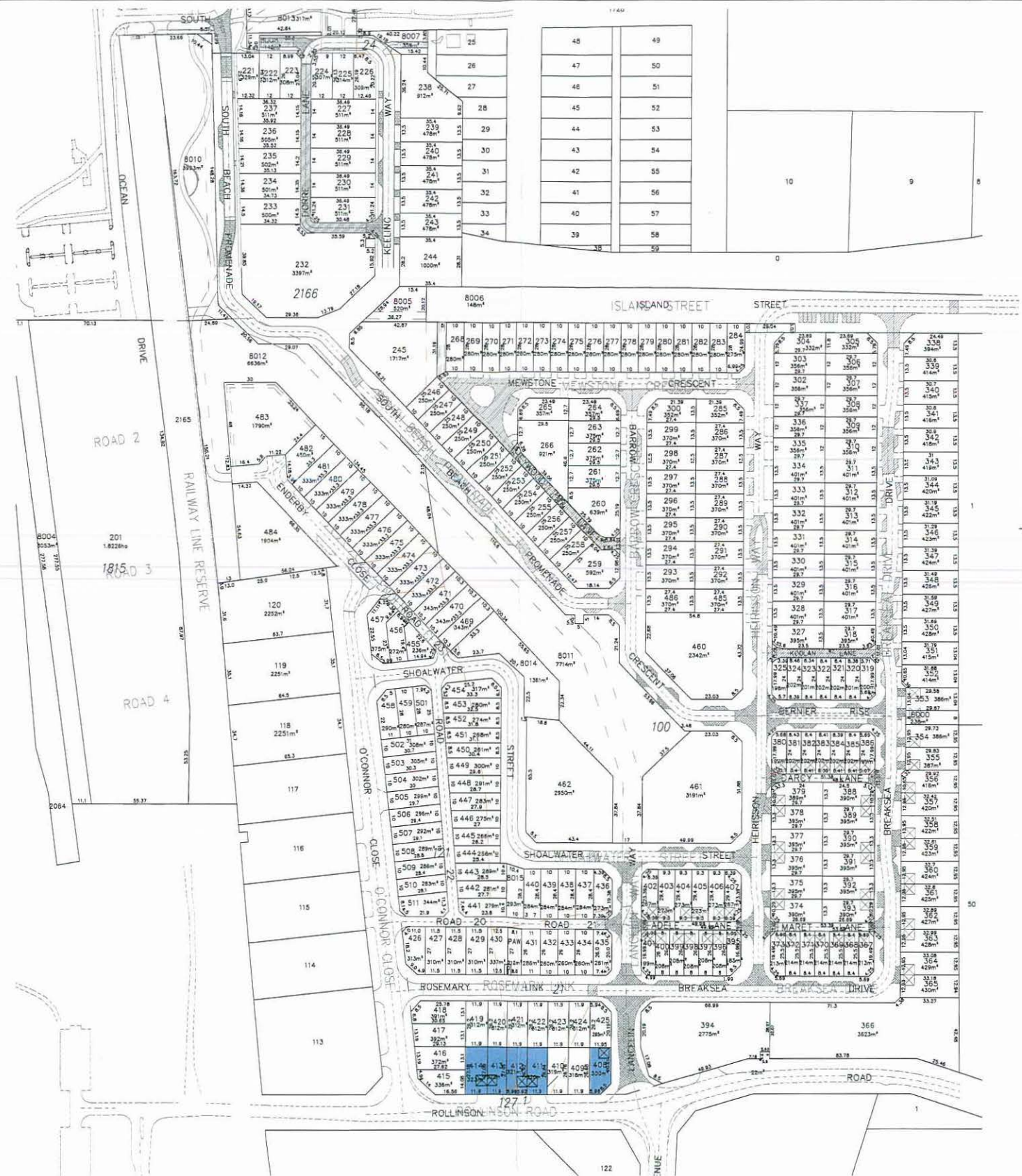


Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date

16.5.12



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT TYPE M
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 11 April 2012 Revision No: C

Scale: 1:3000 @ A3 Job No: 704-228

Designer: Drawn: SL

E Reference: 704-228 DAP Lots 409-410 110412

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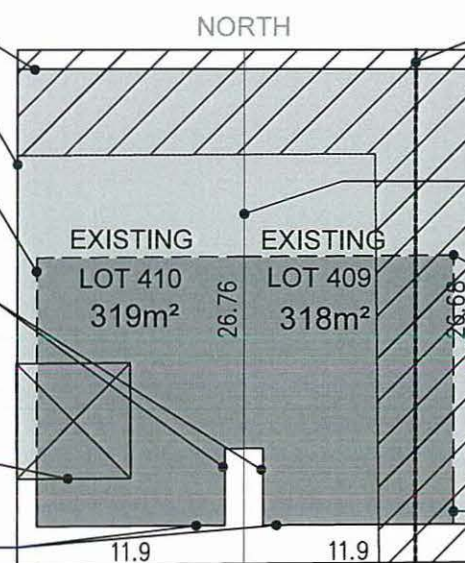
604

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Setbacks

- 1.0m ground floor rear setback
- Nil ground level setback
- 1.0m minimum, 2.5 maximum upper level setback
- Ground and upper level to be set back 1.0m on both sides of the original boundary between lots 409 and 410 within 6.0m of the front boundary
- Garage to be set back 4.5m from front boundary and located 0.5m (minimum) behind front building line
- 2.0m minimum, 4.0m maximum front setback
- Maximum 3.5m wide driveway permitted to abut east boundary to access rear outbuildings
- Original lot boundary between lots 409 and 410
- Any upper level to be contained within 16m of front boundary
- Nil minimum ground level setback
- 3.5m maximum ground level setback
- 1.0m minimum, 3.5m maximum upper level setback



STREET Lots 409-410

General Design Intent

- The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Application and Process

- This Detailed Area Plan shall apply only in the event that Lots 409 and 410 are amalgamated into one single lot or if a single dwelling is proposed across the 2 existing lots (prior to amalgamation). In the event that neither scenario occurs, then the provisions of the current Detailed Area Plan for the M type lots 411-414 shall apply to the existing lots 409 and 410 with designated garage locations either side of the original boundary between lots 409 and 410.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.

Building Frontage

- The building shall be constructed to (or forward of) a minimum of 80% of the maximum allowable front setback (measured between the minimum east side setback and the minimum west side setback either side of the original lot boundary). The remainder of the built form shall also be set back no greater than 6.0m from the front boundary.
- The dwelling shall be designed to provide the impression from the street of two separate dwellings to maintain the streetscape rhythm of the original lot configuration. This shall be achieved primarily through the articulation of building bulk and reinforced by a variation of materials, colour, and/or form. The intent is for building bulk to be relatively evenly distributed either side of the original boundary between lots 409 and 410.
- Only 1 entry point is required from the street, though the remainder of the elevation at the ground floor level is to be sufficiently punctuated with windows and/or similar openings to ensure the dwelling reads as two (2) dwellings in the streetscape.

Garage/ Outbuildings

- To be set back 4.5m from the front property boundary and a minimum of 0.5m behind main building line (average front setback excluding garage).
- Maximum garage width is 7.0m (double door) including supporting structures.
- Outbuildings (including boat storage shed) shall be constructed with the same design quality and materials as the main dwelling and be contained within the prescribed building envelope at the rear of the dwelling to be constructed on-site.
- The maximum floor area of any outbuilding is 40m².
- A driveway of a maximum width of 3.5m is permitted along the side boundary (as indicated by the DAP) to access an outbuilding or boat storage shed and shall be appropriately landscaped to maintain visual quality as viewed from the street. A gateway element that frames the entrance to this driveway shall also be provided to screen the driveway and maintain the intended streetscape rhythm of the original lot configuration. This gateway element is intended to reflect a similar form to the masonry element framing the main garage entrance with a maximum setback of 4.5 metres from the front boundary.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- The design of fencing forward of the dwelling shall be articulated in form, design and/or materiality either side of the original boundary between Lots 409 and 410 to enhance the perception of two separate dwellings being constructed on the amalgamated lot.

Other

- Applicable Residential Density Code is R60.
- Maximum of 2 dwellings is permitted on the lot, which is defined as the single lot area of amalgamated lots 409-410.
- Minimum 40% open space required.
- A minimum private open space area of 40m² with a minimum dimension of 4m is to be provided within the Courtyard zone indicated on the setbacks plan above. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides. The provision of private open space may be within the front setback area.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn

NOTES:

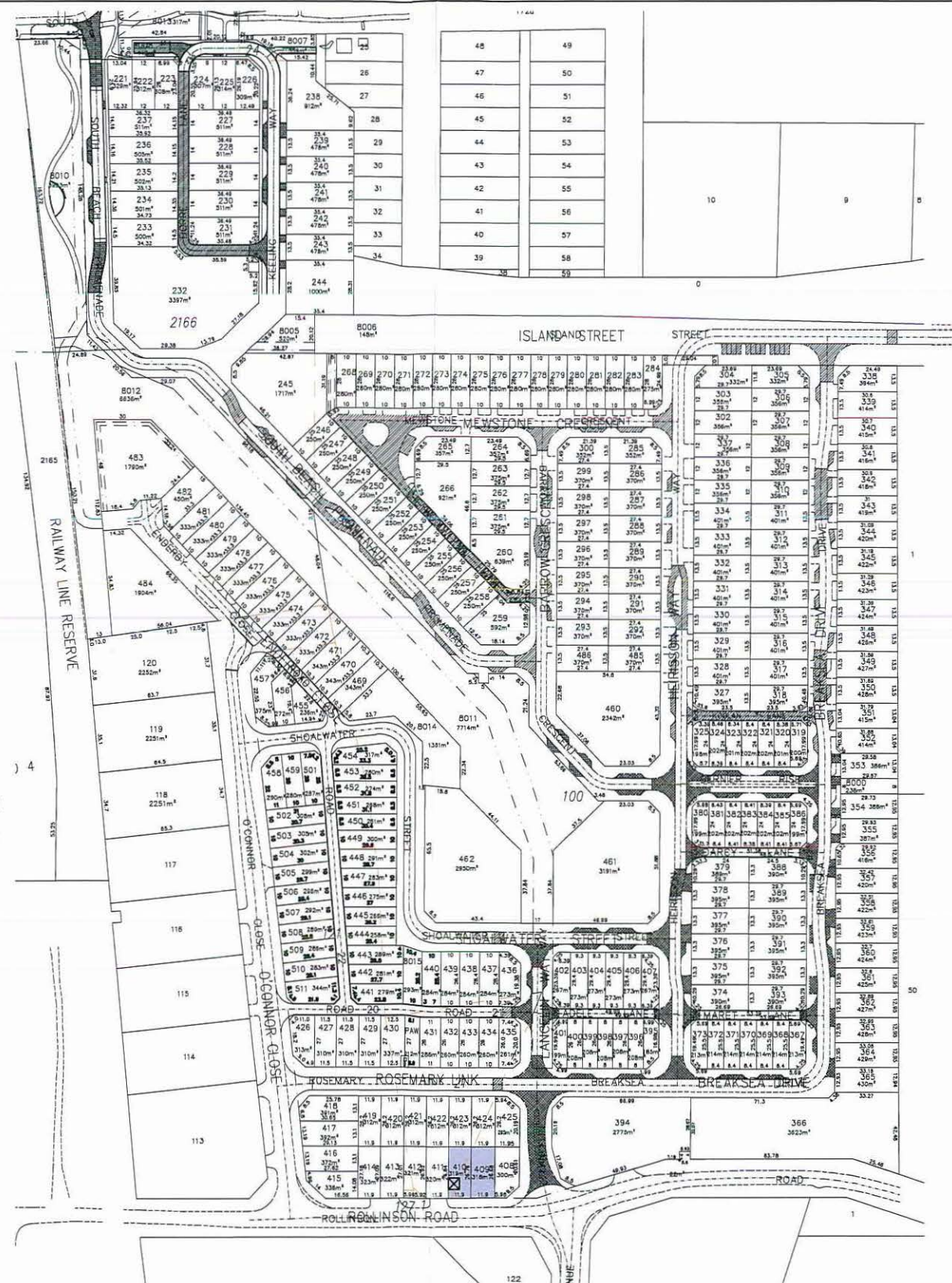
All dimensions and areas are subject to survey

- Building Envelope
- Designated garage location
- Upper level envelope
- Courtyard zone

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 10.5.12



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOT 409 AND LOT 410
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 05 May 2012 Revision No: A

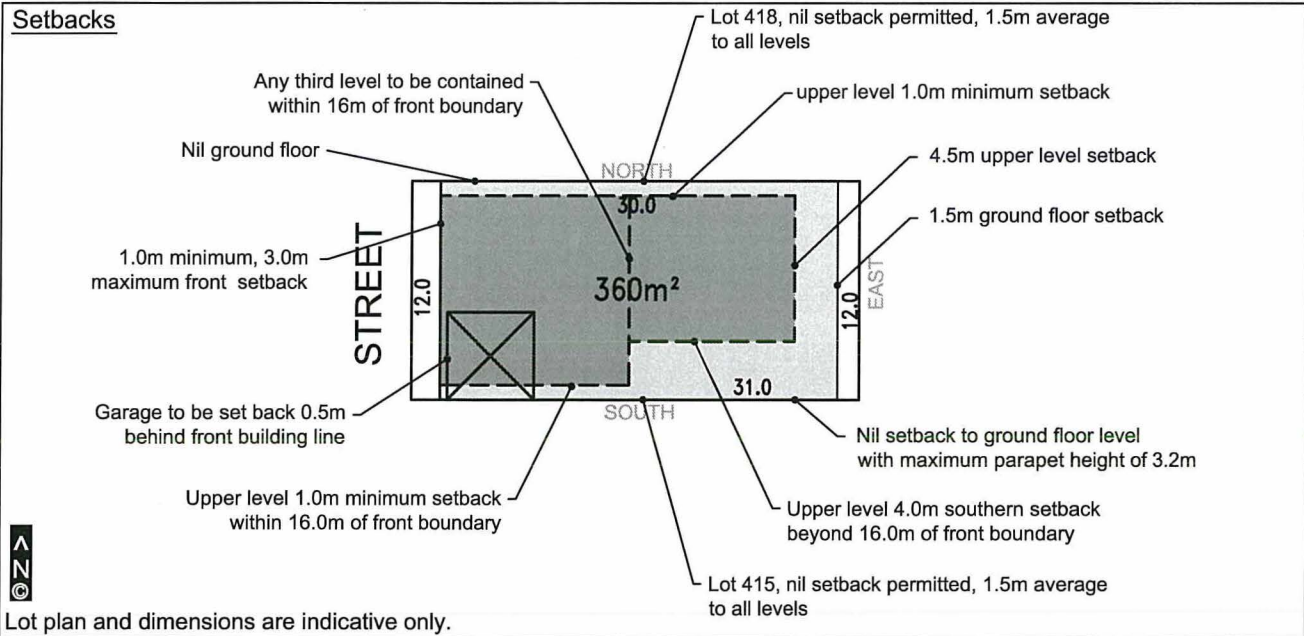
Scale: 1:3000 @ A3 Job No: 704-226

Designer: S.L. Drawn: S.L.

E Reference: 704-226 DAP Lots 409-410 230412

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Setbacks



Lots 415 - 418

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Minimum of 2 storeys required.
- Maximum height is 3 storeys plus loft and 12 metres.
- Maximum height of any southern wall is 6.5m beyond 16m from the front property boundary and maximum height of any southern zero lot line parapet wall is 3.2m.

Garage

- To be located in the location indicated on the site plan opposite.
- Lots 416 and 417 the garage is to be set back 0.5m behind main building line (average front setback excluding garage).
- Garage for Lot 418 is to be set back a minimum of 1m from the secondary street boundary (Rosemary Link).
- Garage for Lot 415 is to be set back 4.5m from the secondary street boundary (Rollinson Road).
- For lots 415 and 418 the garage may be set back at nil to the rear/side boundary.
- Maximum garage width is 7.0m (double door) including supporting structures.

Fencing

- All fencing forward of the dwelling is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.
- All fencing to secondary streets shall comply with the front fencing requirements except where privacy is required to a courtyard or screening a clothes drying area. In such instances solid fencing up to 2m in height may be permitted where the fence is appropriately articulated or detailed.

Other

- Applicable Residential Density Code is R60.
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- Minimum 40% open space required.
- A minimum private open space area of 20m² with a minimum dimension of 4m is to be provided. A minimum of 50% of this open space is to remain uncovered with the covered area to be open on at least two sides.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- Shadows may be cast over more than 35% of the adjoining property.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots the dwelling must also address the side street through design, fenestration, materials and major openings(s).
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be easily visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and where possible be of a similar colour to the roof.
- Tanks associated with solar hot water units must either be ground mounted or match the roof profile and pitch and not be easily seen from the street.
- Where a development is setback at nil to a secondary street or Public Access Way (PAW) a high degree of architectural articulation is required through the treatment of building bulk, materials, fenestration and major openings.
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

NOTES:

All dimensions and areas are subject to survey

- Building Envelope
- Upper Level Envelope
- Designated Garage Location

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Date 15.1.2010

SCALE 1:3000

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Figure No:

Title: DETAILED AREA PLAN - LOTS 415 - 418
SOUTH BEACH FOR STOCKLAND DEVELOPMENT PTY LTD

Date: 5 January 2010 Revision No: C

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

E Reference: 704.226 DA25C type lots 415-418.dwg

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APPENDIX D

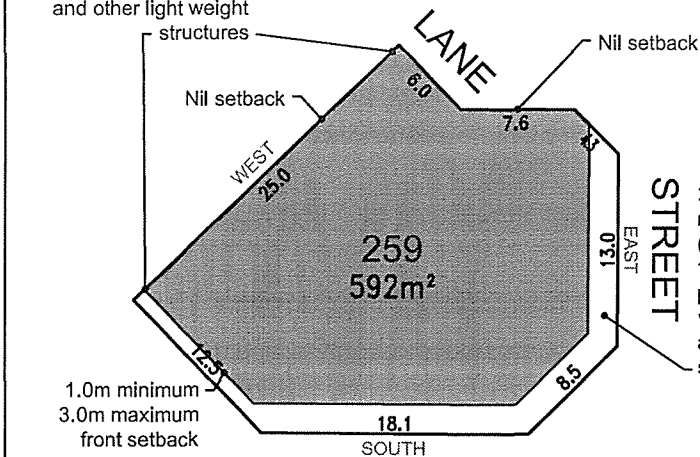
Approved Local Development Plans (with R-Code Density Ranges)

(Development Approval used Highest LDP Density Code)



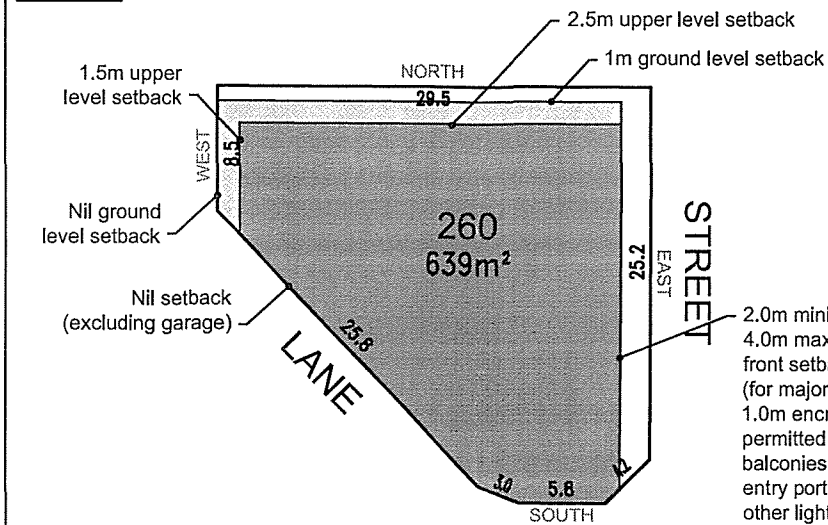
Setbacks

1.0m minimum side setback for balconies, verandahs, entry portico's and other light weight structures



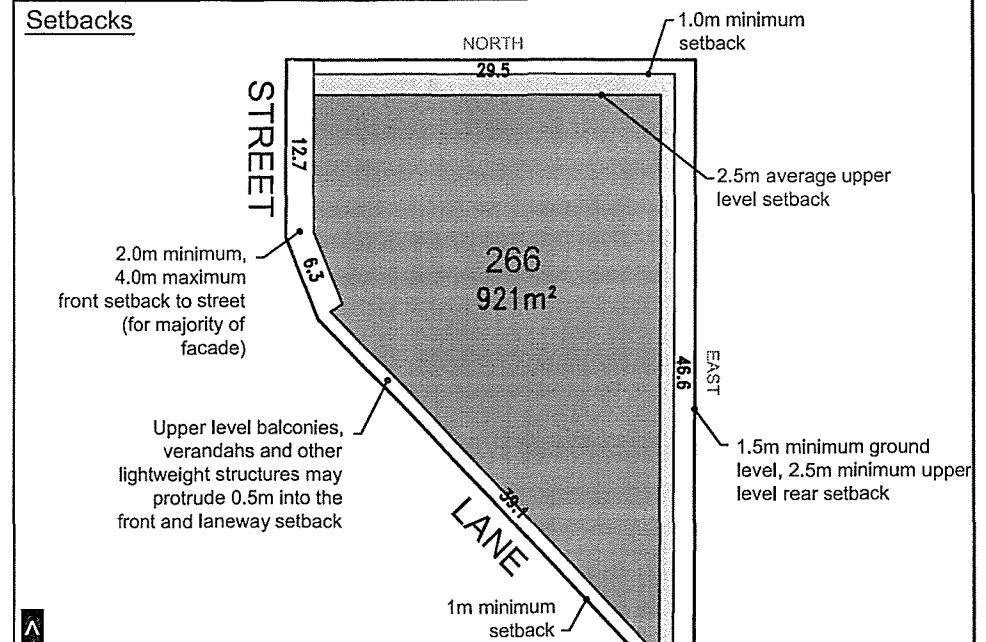
Lot plan and dimensions are indicative only.

Setbacks



Lot plan and dimensions are indicative only.

Setbacks



Lot plan and dimensions are indicative only.

Lots 259, 260 and 266

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the dwelling to the existing ground level immediately below that point. Ground level is the first storey.
- Lot 259 - maximum height is 12m and 3 storeys plus a loft is permitted above third storey. A good proportion of the development must be 3 storeys.
- Lot 260 and 266 - maximum height is 9.5m and 2 storeys plus a loft is permitted above second storey. A minimum of 2 storeys is required.
- Lofts must appear as a room within the roof space (a maximum wall height of 500mm is permitted above the second/third storey floor slab).

Garage

- All garages must be accessed from rear laneway, have a minimum setback of 1.0m and provided with 45° visual truncations.

Fencing

- All fencing forward of the dwelling, including fencing abutting the laneway truncation to Lot 260, both street frontages to Lot 259 and the street (not laneway) frontage to Lot 266, is limited to 1.5m in height above existing ground level. A solid base of a maximum of 900mm above the level of the adjoining footpath is permitted with the remainder being visually permeable.

Other

- Lot 259 applicable Residential Density Code is R40 or R80. Lot 260 applicable Residential Density Code is R40 and Lot 266 the Density Code can be either R20 or R40 (R40 encouraged).
- Lots cannot be subdivided or amalgamated unless consistent with an approved development constructed up to first floor plate height.
- Minimum 40% open space required for R40 lots and 55% for R80 developments.
- An upper level balcony with a minimum dimension of 2.0m, minimum area of 10m² and accessed from a living area (excluding bedrooms) may be included as open space.
- The area of the truncation of any corner lots can be included in the lot area as part of the open space calculations.
- Dwelling to address the street by way of design, fenestration, entry and must contain major opening(s).
- For corner lots, the dwelling must also address the side street or laneway through design, fenestration, materials and major openings.
- Windows should generally have a vertical proportion to the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
- Dwellings must be designed to ensure at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.
- No major openings permitted where upper level setback is less than 1.5m (unless directly facing a side street or laneway).
- No change in level greater than 200mm above or below the existing ground level is permitted.
- Air conditioners or cooling units must not be visible from the street and positioned to minimise noise impacts on neighbouring residences. Roof mounted units must be below the roof ridge and be of a similar colour to the roof.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch. Solar cells must not be easily seen from the street.
- No blank walls, backs of garages or storage areas to be located to the street.
- Activation of Laneways is required. (e.g. surveillance, open/transparent fencing.)
- Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn where supported by TPG/Stockland and/or the City of Cockburn Principal Planner.

NOTES:

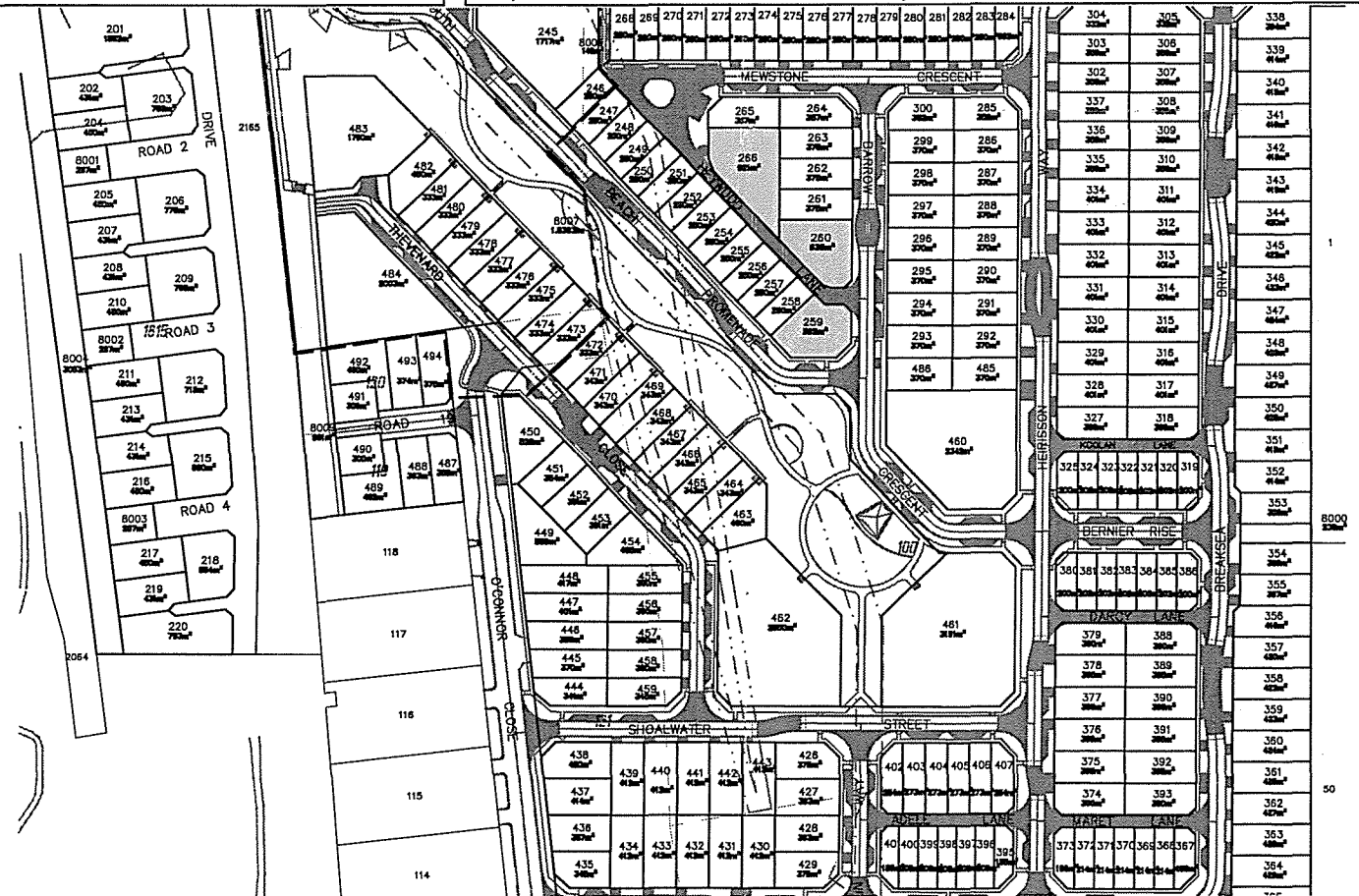
All dimensions and areas are subject to survey

- Building Envelope
- Upper level envelope

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been Adopted by Council and Signed by the Principal Planner

Date 19.4.07



SCALE 1:3000

Figure No:

Title: DETAIL AREA PLAN - LOTS 259, 260 and 266
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 12 APRIL 2007 Revision No: C

Scale: 1:3000 @ A3 Job No: 704.226

Designer: Drawn: S.L.

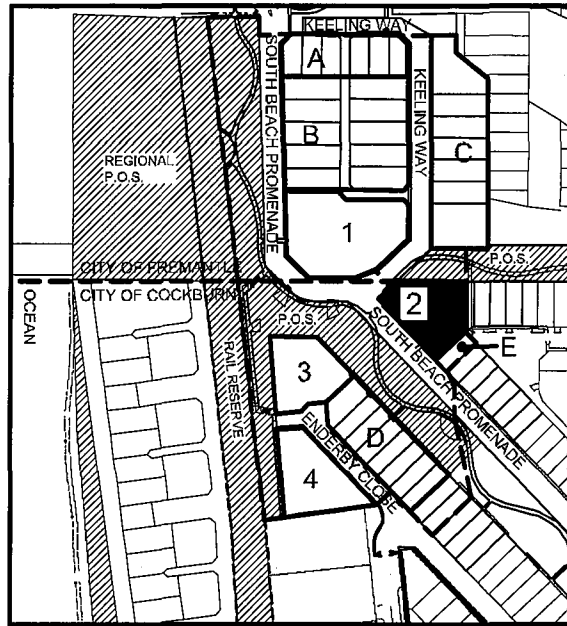
E Reference: 704.226 DA11A type lots 259, 260 and 266.dwg

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LOCATION PLAN

CITY of COCKBURN - RESIDENTIAL DENSITY CODES R60-R100

DESIGN INTENT

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

DENSITY

Development is subject to a base coding of R60-R100.

HEIGHT GROUP DWELLINGS

-12m maximum to the overall roof ridge above ground level.

HEIGHT MULTIPLE DWELLINGS

-20m maximum to the overall roof ridge above ground level.

ROOF PITCH AND ROOF FORM

- 45 degrees maximum pitch.

-Flat and curved roofs are permitted subject to compliance with the insulation requirements (as set below) and providing the roof falls within the building envelope.

FRONT SETBACKS

- An absolute minimum setback of 1.5m is permitted to the P.O.S. where indicated on the plans. Other front setbacks with average of 3m to be calculated in accordance with methodology outlined in the Residential Design Codes.

OPEN SPACE GROUP DWELLINGS

40% minimum open space

32m² minimum outdoor living area

OPEN SPACE MULTIPLE DWELLINGS

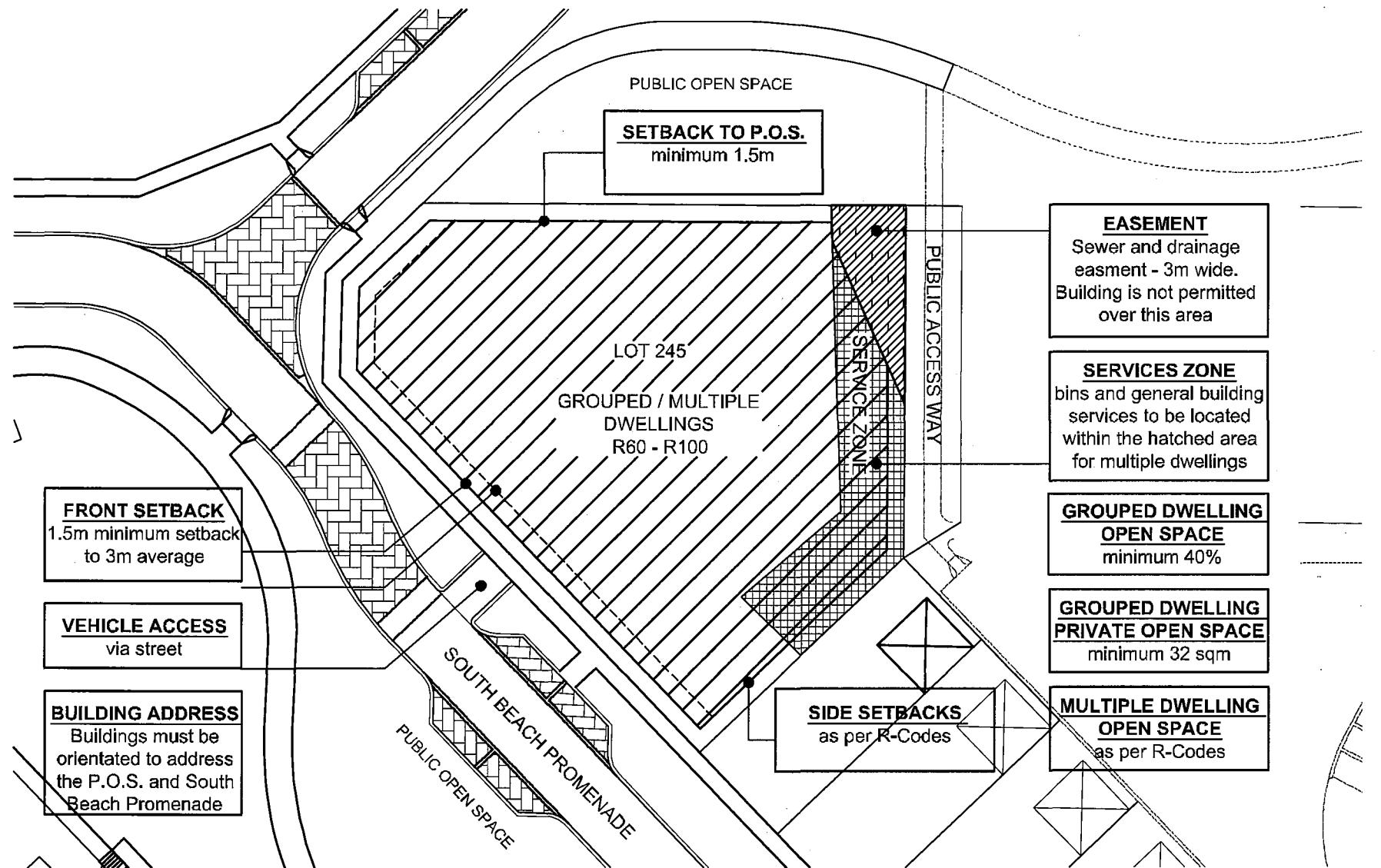
55% minimum open space

CAR PARKING ACCESS LAYOUT - MULTIPLE DWELLING

All parking areas shall be designed in accordance with the relevant Australian Standard. Car parking must be located internally on the lot, and in a manner that minimises visual impact on the streetscape and pedestrian conflicts.

LEGEND

- BUILDING ENVELOPE
- PUBLIC OPEN SPACE
- SERVICE ZONE
- EASEMENT



FENCING

Fencing will be in accordance with the codes and generally limited to 1.2m in height above finished subdivision levels, with 50% open area where the fence is forward of the building line. Open style visually permeable fencing is required for all fencing adjoining public open space.

GAS / SOLAR HOT WATER SYSTEMS / AIR CONDITIONING / COOLING UNITS

The installation of solar or gas hot water systems is encouraged for all heating requirements. Gas, solar hot water systems, air conditioning and cooling units should be installed so that they generally are not visible from the street, and minimize noise impact.

INSULATION

All dwellings shall be installed with a minimum R2.5 rating in ceilings or R2 rating together with double sided insulation beneath the roof surface and be of insulated brick cavity or construction with a similar thermal characteristic.



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Although care has been taken in the compilation of this drawing, all parties associated with the proposed property development, disclaim any responsibility for errors or omissions. The right is reserved to change the plan at any time. Liability is expressly disclaimed by Jones Coulter Young Architects for any loss or damage that may be sustained by any person acting on visual impression gained from this drawing.



TYPE 2 - LOT 245

0 2.5 5 10 25m

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No.3 - apply except for variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Principal Planner *A. [Signature]* date 11-10-2007

PROJECT NO:
0358

PROJECT:
SOUTH BEACH - LANDCORP

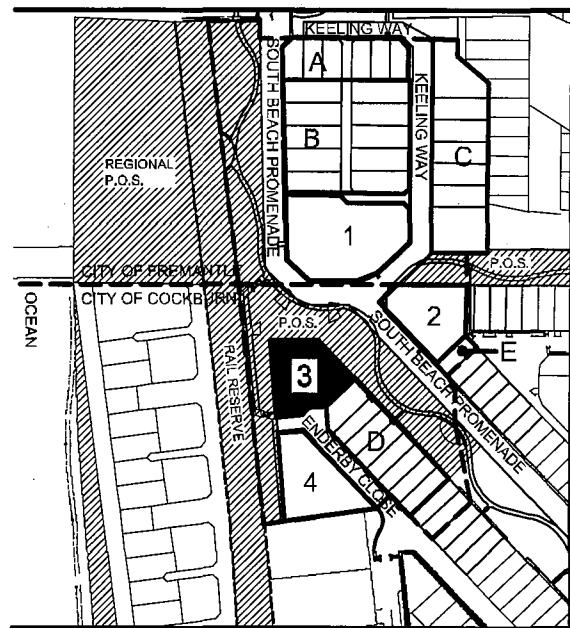
DRAWING:
DETAILED AREA PLAN - TYPE 2- LOT 245

DRAWING NO:
j:/projects/0358/
guidelines20041018 / DAPS

SCALE:
1:500 @A3

DATE:
OCT 2007

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LOCATION PLAN

LEGEND

- BUILDING ENVELOPE
- PUBLIC OPEN SPACE
- SERVICE ZONE

CITY of COCKBURN - RESIDENTIAL DENSITY CODES R60-R100

DESIGN INTENT

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

DENSITY

Development is subject to a base coding of R60-R100.

HEIGHT GROUP DWELLINGS

-12m maximum to the overall roof ridge above ground level.

HEIGHT MULTIPLE DWELLINGS

-20m maximum to the overall roof ridge above ground level.

ROOF PITCH AND ROOF FORM

- 45 degrees maximum pitch.

-Flat and curved roofs are permitted subject to compliance with the insulation requirements (as set below) and providing the roof falls within the building envelope.

FRONT SETBACKS

- An absolute minimum setback of 1.5m is permitted to the P.O.S where indicated on the plans. Other front setbacks with average of 3m to be calculated in accordance with methodology outlined in the Residential Design Codes.

OPEN SPACE GROUP DWELLINGS

40% minimum open space

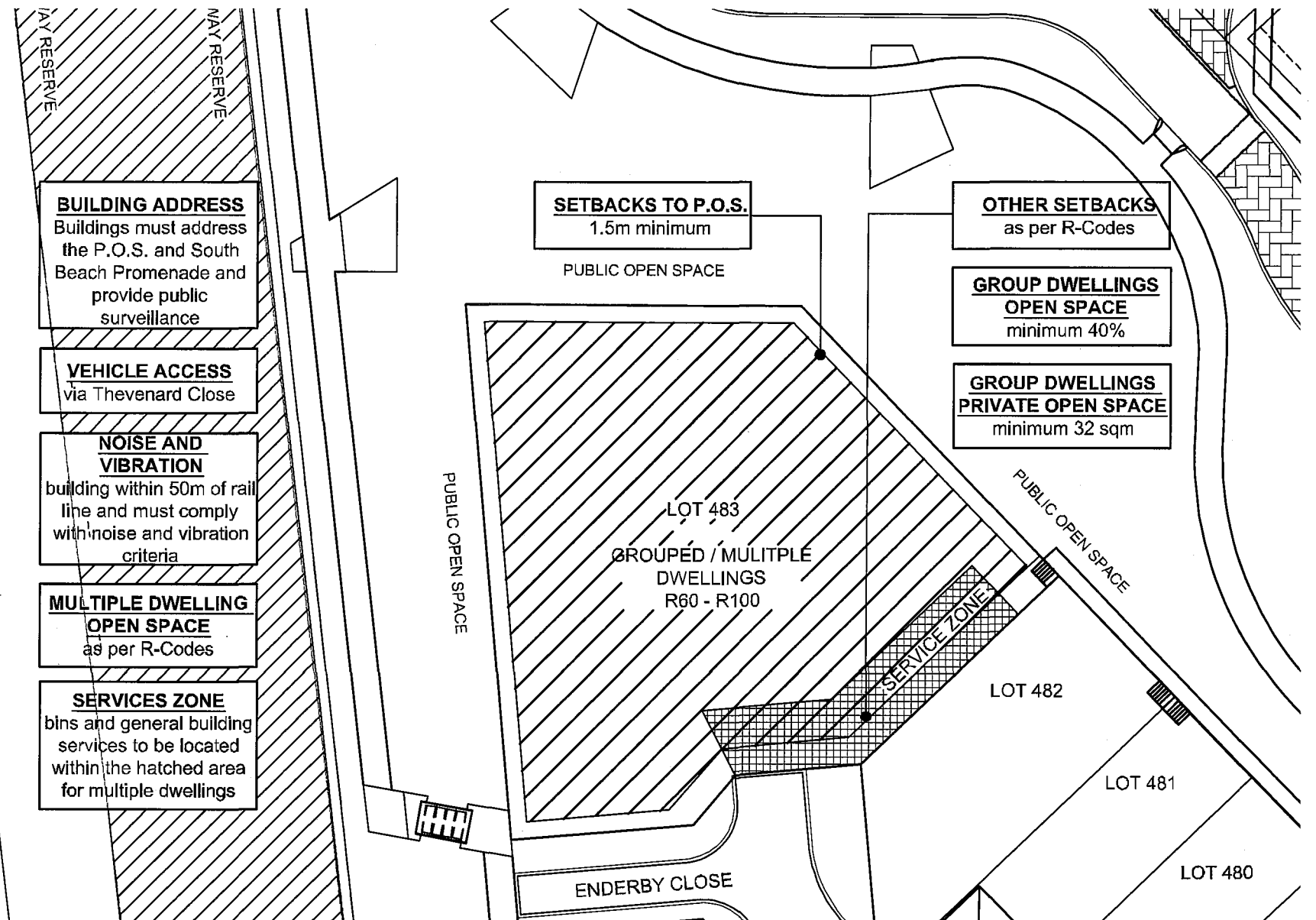
32m² minimum outdoor living area

OPEN SPACE MULTIPLE DWELLINGS

55% minimum open space

CAR PARKING ACCESS LAYOUT - MULTIPLE DWELLING

All parking areas shall be designed in accordance with the relevant Australian Standard. Car parking must be located internally on the lot, and in a manner that minimises visual impact on the streetscape and pedestrian conflicts.



FENCING

Fencing will be in accordance with the codes and generally limited to 1.2m in height above finished subdivision levels, with 50% open area where the fence is forward of the building line. Open style visually permeable fencing is required for all fencing adjoining public open space.

GAS / SOLAR HOT WATER SYSTEMS / AIR CONDITIONING / COOLING UNITS

The installation of solar or gas hot water systems is encouraged for all heating requirements. Gas, solar hot water systems, air conditioning and cooling units should be installed so that they generally are not visible from the street, and minimize noise impact.

INSULATION

All dwellings shall be installed with a minimum R2.5 rating in ceilings or R2 rating together with double sided insulation beneath the roof surface and be of insulated brick cavity or construction with a similar thermal characteristic.

NOISE AND VIBRATION

Any residential development within 50m of the rail line will be required to demonstrate compliance with noise and vibration criteria setout in the Noise Management Plan required under Statement No 560 published by the Minister for the Environment on 22 December 2002 (South Beach Village Noise Management Strategy, August 2002, and accompanying qualifying correspondence approved by WAPC on 11th March 2003).



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TYPE 3 - LOT 483



Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No.3 - apply except for variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Principal Planner

date 11.10.2007

PROJECT NO:
0358

PROJECT:
SOUTH BEACH - LANDCORP

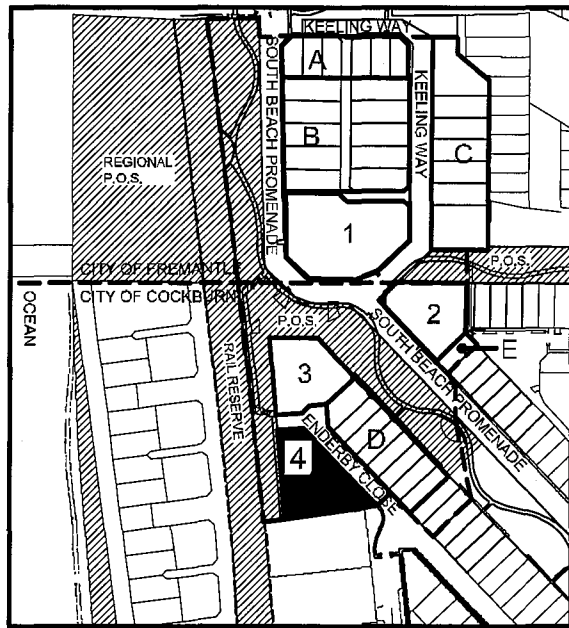
DRAWING:
DETAILED AREA PLAN - TYPE 3- LOT 483

DRAWING NO:
j:/projects/0358/
guidelines2004/018 / DAPS

SCALE:
1:500 @A3

DATE:
OCT 2007

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LOCATION PLAN

CITY of COCKBURN - RESIDENTIAL DENSITY CODES R60-R100

DESIGN INTENT

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

DENSITY

Development is subject to a base coding of R60-R100.

HEIGHT GROUP DWELLINGS

-12m maximum to the overall roof ridge above ground level.

HEIGHT MULTIPLE DWELLINGS

-20m maximum to the overall roof ridge above ground level.

ROOF PITCH AND ROOF FORM

- 45 degrees maximum pitch.

-Flat and curved roofs are permitted subject to compliance with the insulation requirements (as set below) and providing the roof falls within the building envelope.

FRONT SETBACKS

- An absolute minimum setback of 1.5m is permitted to the P.O.S where indicated on the plans. Other front setbacks with average of 3m to be calculated in accordance with methodology outlined in the Residential Design Codes.

OPEN SPACE GROUP DWELLINGS

40% minimum open space

32m² minimum outdoor living area

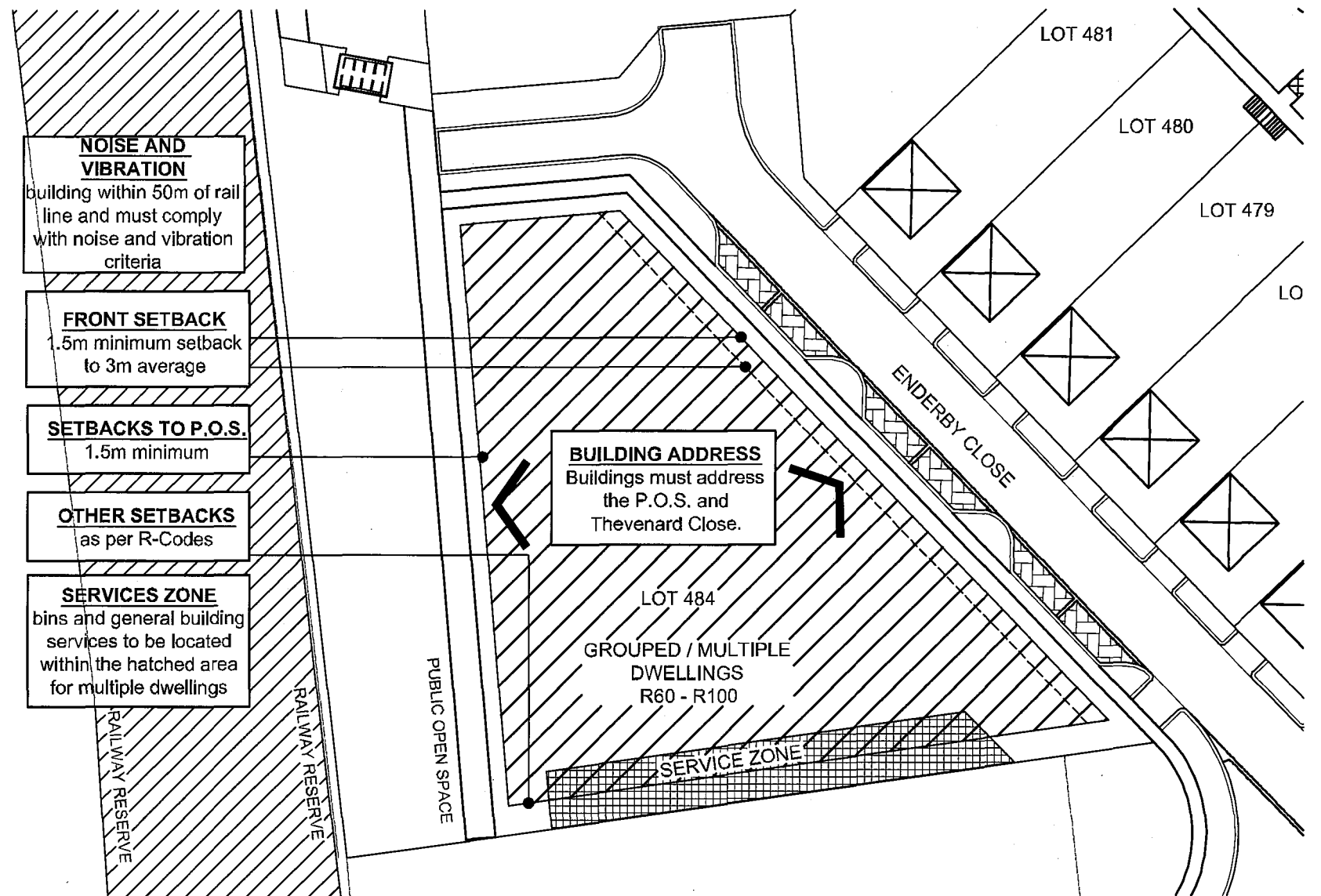
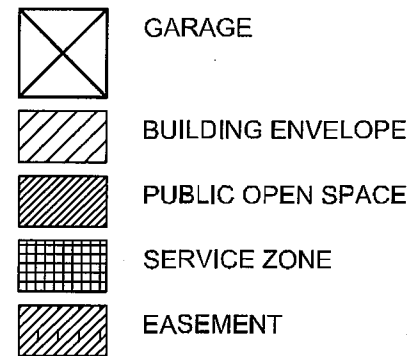
OPEN SPACE MULTIPLE DWELLINGS

55% minimum open space

CAR PARKING ACCESS LAYOUT - MULTIPLE DWELLING

All parking areas shall be designed in accordance with the relevant Australian Standard. Car parking must be located internally on the lot, and in a manner that minimises visual impact on the streetscape and pedestrian conflicts.

LEGEND



FENCING

Fencing will be in accordance with the codes and generally limited to 1.2m in height above finished subdivision levels, with 50% open area where the fence is forward of the building line. Open style visually permeable fencing is required for all fencing adjoining public open space.

GAS / SOLAR HOT WATER SYSTEMS / AIR CONDITIONING / COOLING UNITS

The installation of solar or gas hot water systems is encouraged for all heating requirements. Gas, solar hot water systems, air conditioning and cooling units should be installed so that they generally are not visible from the street, and minimize noise impact.

INSULATION

All dwellings shall be installed with a minimum R2.5 rating in ceilings or R2 rating together with double sided insulation beneath the roof surface and be of insulated brick cavity or construction with a similar thermal characteristic.

NOISE AND VIBRATION

Any residential development within 50m of the rail line will be required to demonstrate compliance with noise and vibration criteria set out in the Noise Management Plan required under Statement No 560 published by the Minister for the Environment on 22 December 2002 (South Beach Village Noise Management Strategy, August 2002, and accompanying qualifying correspondence approved by WAPC on 11th March 2003).



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TYPE 4 - LOT 484



Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No.3 - apply except for variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Principal Planner *[Signature]*

date 11.10.2007

PROJECT NO:
0358

PROJECT:
SOUTH BEACH - LANDCORP

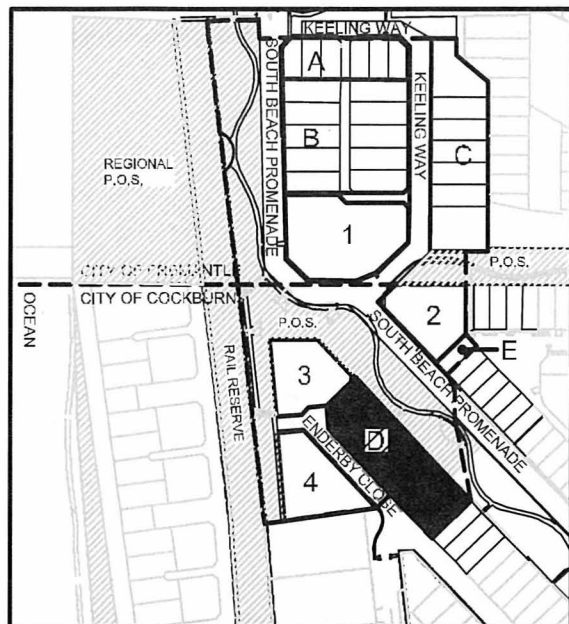
DRAWING:
DETAILED AREA PLAN - TYPE 4- LOT 484

DRAWING NO:
j:/projects/0358/
guidelines20041018 / DAPS

SCALE:
1:500 @A3

DATE:
OCT 2007

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LOCATION PLAN

CITY of COCKBURN - RESIDENTIAL DENSITY CODES R20/40

DESIGN INTENT

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

HEIGHT

- Measured from existing ground level to highest part of dwelling. Ground floor is first storey
- 12m maximum
- Minimum of 2 storeys required, additional loft permitted.
- Three storeys plus loft permitted.

GARAGE

- To be located in line with constructed crossover
- to be located min. 4.5m behind front boundary line
- Maximum garage width is 7m (double door)

FENCING

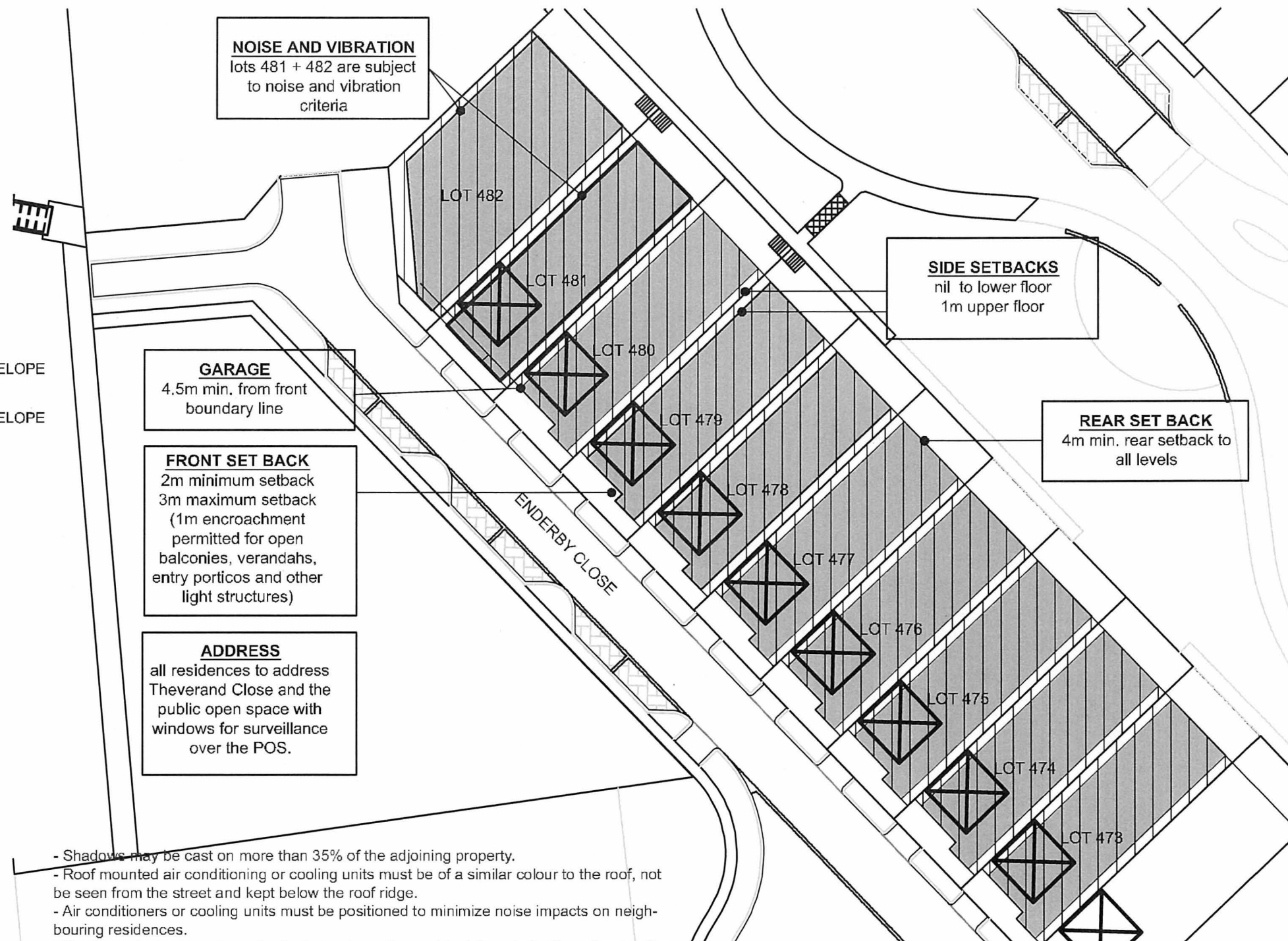
- no fencing permitted to the street

OTHER

- 60% maximum site coverage
- dwelling to address both Thevenard Close and the public open space by way of design, fenestration, entry and must contain major opening(s).
- **Applicable Residential Density Code R20/40**
- Maximum of 1 dwelling per lot.
- Lots cannot be subdivided or amalgamated.
- A minimum of 40m² open space with a minimum dimension of 4m is to be provided along the rear boundary. Any additional open space will preferably abut the northern boundary.
- Dwellings must be designed so the at least one major opening to a living area (excluding bedrooms) captures northern winter sunlight.

LEGEND

- GARAGE
- BUILDING ENVELOPE
- UPPER FLOOR BUILDING ENVELOPE



- Shadows may be cast on more than 35% of the adjoining property.
- Roof mounted air conditioning or cooling units must be of a similar colour to the roof, not be seen from the street and kept below the roof ridge.
- Air conditioners or cooling units must be positioned to minimize noise impacts on neighbouring residences.
- Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the dwelling. Solar cells must not be seen from the street.
- Where it can be demonstrated that windows, balconies or terraces do not create an overlooking concern, the cone of vision requirements may be relaxed.
- An upper balcony with a minimum dimension of 2m, minimum area of 10m² and accessed from a living area (excluding bedroom) may be included as open space.
- The area of truncation of any corner lots can be included on the lot area in open space calculations.
- Minor variations to the requirements of the Residential Design codes may approved by the principal planner.

NOISE AND VIBRATION

Any residential development within 50m of the rail line will be required to demonstrate compliance with noise and vibration criteria set out in the Noise Management Plan required under Statement No 560 published by the Minister for the Environment on 22 December 2002 (South Beach Village Noise Management Strategy, August 2002, and accompanying qualifying correspondence approved by WAPC on 11th March 2003).



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architects and urban designers

TYPE D



0 2.5 5 10 25m

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No.3 - apply except for variations shown on this plan.

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner

Principal Planner *App* date *11.10.2007*

PROJECT NO:
0358

PROJECT:
SOUTH BEACH - LANDCORP

DRAWING:
DETAILED AREA PLAN - TYPE D

DRAWING NO:
j:\projects\0358\guidelines2004\018 / DAPS

SCALE:
1:500 @A3

DATE:
aug. 2007

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[illegible]

Setbacks

45°

Level 6

Level 5

Level 4

Level 3

Level 2

Ground Level

BUILDING FACADE

Each level above Level 4 shall be set back within a 45 degree height plane

Ground to Level 4 – 1.0m minimum, 3.0m maximum setback. Balconies, verandas, porticos and other lightweight structures may have nil setback.

Any level above level 3 shall be set back so not as to overshadow lots on the southern side of Shoolwater Street at midday on the 21 June and/or set back within 45° height plane whichever is greater.

461
3191m²
(8 STOREYS)

STREET NORTH

STREET EAST

STREET SOUTH

BUILDING FACADE WEST

Balconies, verandas, porticos and other lightweight structures may protrude 0.5m into setback

Ground to Level 3 – 2.0m minimum, 4.0m maximum setback (for majority of facade)

Vehicular access to align with Darcy Lane

45°

Level 6

Level 5

Level 4

Level 3

Level 2

Ground Level

BUILDING FACADE

Each level above Level 3 shall be set back within a 45 degree height plane

1.0m minimum, 3.0m maximum setback and balconies, verandas, porticos and other lightweight structures may have nil setback for the first 3 levels.

Lot plan and dimensions are indicative only.

Setbacks

Any 4th level shall be set back an additional 3m from the floor immediately below (excluding unroofed balconies)

1.0m minimum, 3.0m maximum setback and balconies, verandas, porticos and other lightweight structures may have nil setback for the first 3 storeys.

Any levels above level 3 shall be set back so not as to overshadow lots on the southern side of Shodwater Street at midday on the 21 June.

1.0m minimum, 3.0m maximum setback and balconies, verandas, porticos and other lightweight structures may have nil setback for the first 3 levels.

1.0m minimum, 3.0m maximum setback and balconies, verandas, porticos and other lightweight structures may have nil setback for the first 3 levels.

Lot plan and dimensions are indicative only.

462 2950m² (4 STOREYS)

STREET WEST

P.O.S. NORTH

P.O.S. NORTHEAST

STREET SOUTH

P.O.S. EAST

245 177m²

264 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284

304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1044 1045 1046 1047 1048 1049 1050 1051 1052 1053 1054 1055 1056 1057 1058 1059 1060 1061 1062 1063 1064 1065 1066 1067 1068 1069 1070 1071 1072 1073 1074 1075 1076 1077 1078 1079 1080 1081 1082 1083 1084 1085 1086 1087 1088 1089 1090 1091 1092 1093 1094 1095 1096 1097 1098 1099 1100 1101 1102 1103 1104 1105 1106 1107 1108 1109 1110 1111 1112 1113 1114 1115 1116 1117 1118 1119 1120 1121 1122 1123 1124 1125 1126 1127 1128 1129 1130 1131 1132 1133 1134 1135 1136 1137 1138 1139 1140 1141 1142 1143 1144 1145 1146 1147 1148 1149 1150 1151 1152 1153 1154 1155

General Design Intent

The design intent is outlined by the South Beach Site Design Guidelines. All development must give due regard to the requirements and intent of these guidelines.

Height

- Maximum height measured from the highest point of the building(s) to the existing ground level immediately below that point. Ground level is the first storey.
- Lot 460, Lot 461 and Lot 462 minimum 2 storeys required.
- Lot 460 and Lot 462 maximum height of 16 metres and 4 storeys.
- Lot 461 maximum height of 21 metres and 6 storeys.
- Finished Floor Level of the ground floor (i.e. podium) is to be no greater than 1.25m above NGL immediately below each point. NGL for Lot 460 is 9.0 AHD, Lot 461 is 8.7AHD and Lot 462 is 8.7AHD

Car Parking

- Lots 460 & 461 vehicle access to be provided as shown on the DAP.
- Lot 462 access shall be determined in conjunction with the City of Cockburn.
- All tenant parking must be screened from view from the public domain.

Fencing

Fencing to the adjoining public open space is to be to the same design and specification as the existing fencing abutting the south-western portion of the central public open space spine to provide a consistent finish to the open space when viewed from the public domain. Fencing shall conform with drawings entitled 'Boundary Fencing Details – Type 1 Wall 46 (Drawing Number LC-05 and LC-06) prepared by Plan E, attached to this DAP

Other

1. **Applicable Residential Density Code R60 or R100.**
2. Minimum 40% open space (R60 grouped dwellings), 45% (R60 multiple dwellings) or 55% open space (R100).
3. The area of the truncation up to a maximum of 20m² of any corner lots can be included on the lot area in open space calculations.
4. An upper level balcony with a minimum dimension of 2.0m and a minimum area of 10m² may be included as open space.
5. Building(s) to address the street by way of design, fenestration, entry and must contain major opening(s) and active elements such as balconies that provide additional articulation and detailing.
6. All ventilation grills to semi-basement parking must be landscaped, screened and/or artistically designed and built to not detract from the appearance of the building.
7. Northern solar access and cross ventilation opportunities shall be maximised.
8. Air conditioners or cooling units must not be visible from the street or adjoining public open space and be positioned to minimise noise impacts on neighbouring residences. Roof mounted units on pitched roofs must also be below the roof ridge and be a similar colour to the roof.
9. Roof mounted solar cells and solar hot water units must be integrated with and match the roof profile and pitch of the building(s). Solar cells must not be easily seen from the street.
10. Where it can be demonstrated that windows balconies or terraces do not create an overlooking concern the City of Cockburn may relax the cone of vision requirements.
11. Minor variations to the requirements of the Residential Design Codes and this Detailed Area Plan may be approved by the City of Cockburn.

Provisions of the Residential Design Codes and City of Cockburn Town Planning Scheme No. 3 apply except for the variations shown on this plan.

This Detailed Area Plan has been signed by
Director of Planning and Development

Date 02/02/09


This concept has been prepared for the purpose of meeting client specifications. The drawing does not constitute an invitation agreement or contract (or any part thereof) of any kind whatsoever.

Although care has been taken in the compilation of this drawing by The Planning Group WA Pty Ltd, all parties associated with the proposed property development, disclaim all responsibility for any errors or omissions. The right is reserved to change the plan at any time.

Liability is expressly disclaimed by The Planning Group WA Pty Ltd for any loss or damage which may be sustained by any person acting on any visual impression gained from this drawing.

NOTES:

All dimensions and areas are subject to survey

-  Ground - Level 3
 Level 4
 Level 5
 Level 6

SCALE 1:3000

Title: DETAIL AREA PLAN - LOTS 460, 461 and 462
SOUTH BEACH for STOCKLAND DEVELOPMENT PTY LTD

Date: 14 January 2009 Revision No: B

Scale: 1:3000 @ A3 Job No: 704.226

Designer: _____ Drawn: SL

E Reference: 704.226 DA15C TYPE LOTS 460 - 462.DWG

TOWN PLANNING
AND URBAN DESIGN

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Perth Western Australia 6850
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Facsimile +61 08 9321 4786
planning@tpgwa.com.au
www.tpgwa.com.au

APPENDIX E

‘The Islands’ Development Complex (Approved Strata Plan Extract)



STRATA PLAN

52597

SHEET 1 OF 3 SHEETS

PLAN OF

RE-SUBDIVISION OF LOT 66

ON SP 52597

CERTIFICATE OF TITLE

VOL. 2950 FOL. 405

LOCAL GOVERNMENT

CITY OF COCKBURN

FIELD RECORD

144759

NAME OF SCHEME

ISLANDS APARTMENTS

ADDRESS OF PARCEL

25 OCEAN DRIVE

NORTH COOGEE WA 6163

MANAGEMENT STATEMENT

YES

SURVEYOR'S CERTIFICATE - REG 54

I, MICHAEL CUNNINGHAM

hereby certify that this plan is accurate and is a correct representation of the -

(a) *survey; and/or

(b) *calculations from measurements recorded in the field records,

[* delete if inapplicable]

undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.

Michael Cunningham

2018.06.19 14:26:46

+08'00'

LICENSED SURVEYOR

DATE

LODGED

31.5.18

DATE

FEE PAID

ASSESS No.

EXAMINED

SG

22-Jun-18

DATE

FORM 26

W.A.P.C. REF: 953-17

STRATA TITLES ACT 1985 - SECTIONS 25(1), 25(4)

CERTIFICATE OF GRANT OF APPROVAL BY

WESTERN AUSTRALIAN PLANNING COMMISSION TO STRATA PLAN

It is hereby certified that the approval of Western Australian Planning Commission has been granted pursuant to section 25(1) of the *Strata Titles Act 1985* to the strata plan submitted on 22-Jun-18 and relating to the property described herein.

27-Jun-2018

Date

For Chairman, Western Australian Planning Commission

PLAN APPROVED

Inspector of Plans and Surveys

28-Jun-18

INSPECTOR OF PLANS AND SURVEYS

DATE

(S.18 Licensed Surveyors Act 1909)

IN ORDER FOR DEALINGS

SUBJECT TO

Prior approval SP52597.3; Lodgement of Restrictive Covenant & Notification docs

28-Jun-18

FOR REGISTRAR OF TITLES

DATE

REGISTERED

N936662

APPLICATION

4-Jul-18

DATE

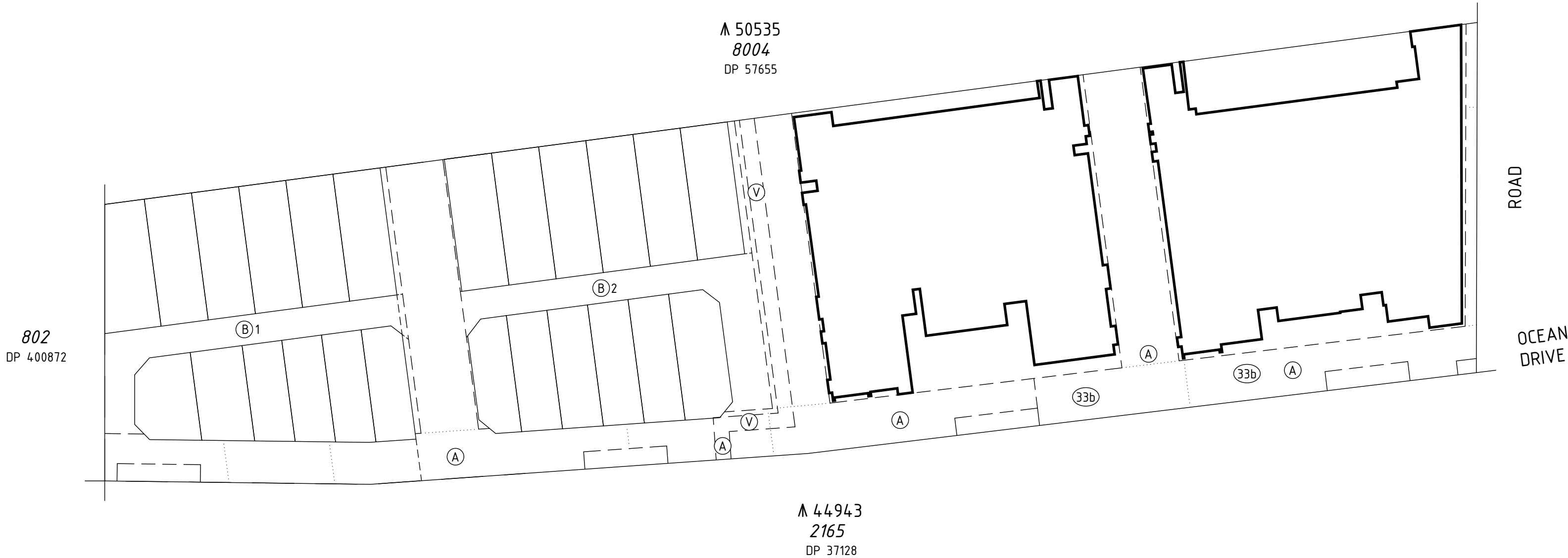
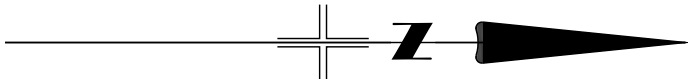
REGISTRAR OF TITLES

SEAL

GOVERNMENT OF WESTERN AUSTRALIA

Landgate

LIMITED IN DEPTH TO 60.96 METRES
FOR EASEMENT DETAILS SEE SHEET 2



INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
33b	EASEMENT (WATER SUPPLY)	SEC 167 OF THE P & D ACT REG 33 (b)	DP 57655	COMMON PROPERTY	WATER CORPORATION	SEE SHEET 2 FOR HEIGHT LIMITS
V	EASEMENT (WATER SUPPLY PURPOSES)	SEC 136C OF THE TLA	DP 57655	LOT 65 AND COMMON PROPERTY	CITY OF COCKBURN	LIMITED IN DEPTH TO 6.2m A.H.D.
A	EASEMENT	SEC 195 & 196 OF THE LAA	DP 57655 AND DOC L230882	COMMON PROPERTY	CITY OF COCKBURN AND THE PUBLIC AT LARGE	SEE SHEET 2 FOR HEIGHT LIMITS MODIFIED IN DOC N931871
B1 & B2	EASEMENT	SEC 195 OF THE LAA	DOCN931872	COMMON PROPERTY	CITY OF COCKBURN	LIMITED IN HEIGHT BETWEEN TO 7.50 AHD & 19.85 AHD
	RESTRICTIVE COVENANT	SEC 129BA OF THE TLA	DOCN931877	LOTS 67-78	CITY OF COCKBURN	DEVELOPMENT RESTRICTION
	NOTIFICATION	SEC 165 OF THE P & D ACT	DOCN931874	LOTS 67-78		BUSHFIRE MANAGEMENT PLAN

LOCATION PLAN



1:750 @ A2

HELD BY LANDGATE IN DIGITAL FORMAT ONLY

52597

65

PERIMETER OF PARCEL

128.324 98° 3 50°

59.246 62.136 (V)

133°14'20" 270° 1.388 90° (V)

11.667 86°28'40" 86°28'40" 13.246 90° 5.5 15.478 90°

PERIMETER OF PARCEL

Survey map of Parcel 33b. The parcel is bounded by a dashed line to the north and east, and a solid line to the south and west. The area is labeled "33b" in a circle. The perimeter is labeled "PERIMETER". The area is labeled "AREA". The bearings and distances are as follows:

- North boundary: 89°35'59" (dashed line)
- East boundary: 97°33'59" (dashed line)
- South boundary: 270°00'00" (solid line)
- West boundary: 270°00'00" (solid line)
- Internal boundary (dashed line): 16.7 (distance), 97°33'59" (bearing)
- Internal boundary (solid line): 3.85 (distance), 90°00'00" (bearing)
- Internal boundary (solid line): 9.682 (distance), 270°00'00" (bearing)
- Internal boundary (solid line): 4.047 (distance), 97°33'59" (bearing)
- Internal boundary (solid line): 15.6 (distance), 97°33'59" (bearing)

EASEMENT (33b) HEIGHT LIMITATIONS		
Grades evenly between points		
PT LABEL	LOWER	UPPER
'F'	6.3	Nil
'G'	6.4	Nil
'H'	6.5	Nil

VACANT LOTS NOT SHOWN FOR CLARITY

DATUM OF HEIGHTS LISTED ABOVE
IS THE AUSTRALIAN HEIGHT DATUM
SEE ENLARGEMENT 'Y' FOR
LOCATION OF HEIGHT LIMITS

ENLARGEMENT 'S'

NOT TO SCALE

Land Surveys

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Belmont WA 6104
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CAD File: SP52597 - RE-SUB - STAGE 4.dwg
JOB No: 1501385